



# City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4804  
(310) 456-2489 FAX (310) 456-7650

## BIOLOGY REVIEW REFERRAL SHEET

**TO:** City of Malibu Biologist  
**FROM:** City of Malibu Planning Department **REVISED DATE** 03/01/2021

**PROJECT NUMBER:** CDP 17-086  
**JOB ADDRESS:** 22729 PACIFIC COAST HWY  
**APPLICANT / CONTACT:** Norman Haynie, Blue Onyx Design and Engineerin  
**APPLICANT ADDRESS:** 22741 Pacific Coast Highway #400  
Malibu, CA 90265  
**APPLICANT PHONE #:** (310) 456-5515  
**APPLICANT FAX #:** (310) 456-9821  
**APPLICANT EMAIL:** norm@blueonyxdesign.com  
**PLANNER:** Lilly Rudolph  
**PROJECT DESCRIPTION:** New 39-Room Boutique Hotel - Sea View Hotel

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**TO:** Malibu Planning Department and/or Applicant  
**FROM:** City Biologist, Dave Crawford

- The project review package is INCOMPLETE and; CANNOT proceed through Final Planning Review until corrections and conditions from Biological Review are incorporated into the proposed project design (See Attached).
- The project is APPROVED, consistent with City Goals & Policies associated with the protection of biological resources and CAN proceed through the Planning process.
- The project may have the potential to significantly impact the following resources, either individually or cumulatively: Sensitive Species or Habitat, Watersheds, and/or Shoreline Resources and therefore Requires Review by the Environmental Review Board (ERB).

  
Signature

3/6/21  
Date

Additional requirements/conditions may be imposed upon review of plan revision

**Contact Information:**

Dave Crawford, City Biologist, [dcrawford@malibucity.org](mailto:dcrawford@malibucity.org), (310) 456-2489, extension 277



# City of Malibu

Biology • Planning Department  
 23825 Stuart Ranch Road • Malibu, California • 90265-4861  
 Phone (310) 456-2489 • Fax (310) 456-3356 • [www.malibucity.org](http://www.malibucity.org)

## BIOLOGY REVIEW SHEET

### PROJECT INFORMATION

Applicant: (name and email)	Norman Haynie norm@blueonyxdesign.com	
Project Address:	22729 Pacific Coast Highway Malibu, CA 90265	
Planning Case No.:	CDP 17-086	
Project Description:	New 39-Room Boutique Hotel - Sea View Hotel	
Date of Review:	March 6, 2021	
Reviewer:	Dave Crawford	Signature:
Contact Information:	Phone: (310) 456-2489 ext 277	Email: dcrawford@malibucity.org

### SUBMITTAL INFORMATION

Site Plan:	
Site Survey:	
Landscape Plan:	3/1/21
Hydrozone Plan:	3/1/21
Irrigation Plan:	3/1/21
Fuel Modification Plan:	3/1/21
Grading Plan:	
OWTS Plan:	
Bio Assessment:	
Bio Inventory:	
Native Tree Survey:	
Native Tree Protection Plan:	
Miscellaneous:	
Previous Reviews:	

### REVIEW FINDINGS

Review Status:	<input type="checkbox"/> <b>INCOMPLETE:</b> Additional information and/or a response to the listed review comments is required.
	<input checked="" type="checkbox"/> <b>APPROVED:</b> The project has been approved with regards to biological impacts.
	<input type="checkbox"/> <b>CANNOT APPROVE AS SUBMITTED:</b> The proposed project does not conform to the requirements of the MMC and/or LCP.
	<input type="checkbox"/> <b>ERB:</b> This project has the potential to impact ESHA and may require review by the Environmental Review Board pursuant to LIP Section 4.4.4



**DISCUSSION:**

1. The Maximum Applied Water Allowance (MAWA) for this project totals 80,531 gallons per year (gpy). The Estimated Applied Water Use (EAWU) totals 80,049 gpy. Therefore, the project meets the Landscape Water Conservation Ordinance Requirements.

**RECOMMENDATIONS:**

1. The project is recommended for **APPROVAL** with the following conditions:
  - A. Prior to installation of any landscaping, the applicant shall obtain plumbing permit for the proposed irrigation system from the Building Safety Division.
  - B. Prior to or at the time of a Planning final inspection, the property owner/applicant shall submit to the case planner a copy of the plumbing permit for the irrigation system installation that has been signed off by the Building Safety Division.
  - C. Prior to final Planning inspection or other final project sign off (as applicable), the applicant shall submit to the Planning Director for review and approval a certificate of completion in accordance with the Landscape Water Conservation Ordinance (MMC Chapter 9.22). The certificate shall include the property owner's signed acceptance of responsibility for maintaining the landscaping and irrigation in accordance with the approved plans and MMC Chapter 9.22. (form attached)
  - D. Prior to Final Plan Check Approval, if your property is serviced by the Los Angeles County Waterworks District No. 29, please provide landscape water use approval from that department. For approval contact:

**Nima Parsa**

Address: 23533 West Civic Center Way, Malibu, CA 90265-4804

Email: [Nparsa@DPW.LACOUNTY.GOV](mailto:Nparsa@DPW.LACOUNTY.GOV) (preferred)

Phone: (310) 317-1389

**Please note this action may require several weeks. As such, the applicant should submit their approved landscape plans to DPW as soon as feasible in order to avoid a delay at plan check.**

- E. Vegetation forming a view impermeable condition (hedge), serving the same function as a fence or wall, occurring within the side or rear yard setback shall be maintained at or below six feet in height. View impermeable hedges occurring within the front yard setback serving the same function as a fence or wall shall be maintained at or below 42 inches in height.
- F. Vegetation shall be situated on the property so as not to obstruct the primary view from private property at any given time (given consideration of its future growth).
- G. Invasive plant species, as determined by the City of Malibu, are prohibited.

- H. All public street frontage trees and shrubs shall be limited to species native to the Santa Monica Mountains.
  - I. The landscape plan shall prohibit the use of building materials treated with toxic compounds such as creosote and copper arsenate.
  - J. Night lighting from exterior and interior sources shall be minimized. All exterior lighting shall be low intensity and shielded so it is directed downward and inward so that there is no offsite glare or lighting of natural habitat areas. Up-lighting is prohibited.
  - K. Grading/excavation/vegetation removal scheduled between February 1 - September 15 will require nesting bird surveys by a qualified biologist prior to initiation of such activities. Surveys shall be completed no more than five days from proposed initiation of site preparation activities. Should active nests be identified, a buffer area no less than 150 feet (300 feet for raptors) shall be fenced off until it is determined by a qualified biologist that the nest is no longer active. A report discussing the results of the surveys shall be turned in to the City within two business days of completion of surveys.
2. **UPON COMPLETION OF ALL PLANTING**, the City Biologist shall inspect the project site and determine that all planning conditions to protect natural resources are in compliance with the approved plans.

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If you have any questions regarding the above requirements, please contact the City Biologist office at your earliest convenience.

cc: Planning Project file  
Planning Department



# City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4861  
(310) 456-2489 FAX (310) 317-1950 www.malibucity.org

## ENVIRONMENTAL HEALTH REVIEW REFERRAL SHEET

3/1/2018

TO: City of Malibu Environmental Health Administrator DATE: 9/5/2017  
FROM: City of Malibu Planning Department

PROJECT NUMBER: CDP 17-086  
JOB ADDRESS: 22729 PACIFIC COAST HWY  
APPLICANT / CONTACT: Norman Haynie, Blue Onyx Design and Engineerin  
APPLICANT ADDRESS: 22741 Pacific Coast Highway #400  
Malibu, CA 90265  
APPLICANT PHONE #: (310) 456-5515  
APPLICANT FAX #: (310) 456-9821  
APPLICANT EMAIL: norm@blueonyxdesign.com  
PROJECT DESCRIPTION: New 36-Room Boutique Hotel

TO: Malibu Planning Department and/or Applicant  
FROM: City of Malibu Environmental Health Reviewer

**Conformance Review Complete** for project submittals reviewed with respect to the City of Malibu Local Coastal Plan/Local Implementation Plan (LCP/LIP) and Malibu Plumbing Code (MPC). The Conditions of Planning conformance review and plan check review comments listed on the attached review sheet(s) (or else handwritten below) shall be addressed prior to plan check approval.

**Conformance Review Incomplete** for the City of Malibu LCP/LIP and MPC. The Planning stage review comments listed on the City of Malibu Environmental Health review sheet(s) shall be addressed prior to conformance review completion.

OWTS Plot Plan:  NOT REQUIRED  
 REQUIRED (attached hereto)  REQUIRED (not attached)

Melinda Talent  
Signature

3-29-18  
Date

The applicant must submit to the City of Malibu Environmental Health Specialist to determine whether or not an onsite wastewater treatment system (OWTS) Plot Plan approval is required.

The Environmental Health Specialist may be contacted Tuesday and Thursday from 8:00 am to 11:00 am, or by calling (310) 456-2489, extension 364.



# City of Malibu

Environmental Health • Environmental Sustainability Department  
 23825 Stuart Ranch Road • Malibu, California • 90265-4861  
 Phone (310) 456-2489 • Fax (310) 317-1950 • [www.malibucity.org](http://www.malibucity.org)

## ENVIRONMENTAL HEALTH REVIEW SHEET

### PROJECT INFORMATION

Applicant : (name and email address)	Norman Haynie <a href="mailto:norm@blueonyxdesign.com">norm@blueonyxdesign.com</a>	
Project Address:	22729-41 Pacific Coast Highway Malibu, California 90265	
Planning Case No.:	CDP 17-086	
Project Description:	New 15 room hotel with restaurant and 21 room hotel	
Date of Review:	March 29, 2018	
Reviewer:	Melinda Talent	Signature: <i>Melinda Talent</i>
Contact Information:	Phone: (310) 456-2489 ext. 364	Email: <a href="mailto:mtalent@malibucity.org">mtalent@malibucity.org</a>

### SUBMITTAL INFORMATION

Architectural Plans:	Architectural plans by DMR Construction, Inc. dated 8-25-17
Grading Plans:	
OWTS Plot Plan:	Plot plan by Lawrence Young dated 11-15-17, revision dated 1-29-18, 2-28-18
OWTS Report:	OWTS design report by Lawrence Young dated 11-20-17, revision dated 1-29-18, 2-28-18. Percolation report by Lawrence Young dated 11-15-17.
Geology Report:	
Miscellaneous:	Review comments from Tetra Tech dated 12-26-17 and 3-29-18
Previous Reviews:	9-14-17, 1-3-18, 1-30-18, 2-12-18

### REVIEW FINDINGS

Planning Stage:	<input checked="" type="checkbox"/>	<b>CONFORMANCE REVIEW COMPLETE</b> for the City of Malibu Local Coastal Program/Local Implementation Plan (LIP) and Malibu Plumbing Code (MPC). The listed conditions of Planning stage conformance review and plan check review comments shall be addressed prior to plan check approval.
	<input type="checkbox"/>	<b>CONFORMANCE REVIEW INCOMPLETE</b> for the City of Malibu LIP and MPC. The listed Planning stage review comments shall be addressed prior to conformance review completion.
OWTS Plot Plan:	<input type="checkbox"/>	<b>NOT REQUIRED</b>
	<input checked="" type="checkbox"/>	<b>REQUIRED (attached hereto)</b> <input type="checkbox"/> <b>REQUIRED (not attached)</b>

Based upon the project description and submittal information noted above, a **conformance review** was completed for a new alternative onsite wastewater treatment system (OWTS) proposed to serve the onsite wastewater treatment and disposal needs of the subject property. The proposed OWTS meets the minimum requirements of the City of Malibu Plumbing Code, i.e. Title 28 of the Los Angeles County Code, incorporating the California Plumbing Code, 2016 Edition with City of Malibu local amendments (Malibu Municipal Code Section 15.12; hereinafter MPC), and the City of Malibu Local Coastal Program/Local Implementation Plan (LIP). Please distribute this review sheet to all of the project consultants and, prior to final approval, provide a coordinated submittal addressing all conditions for final approval and plan check items.



The conditional conformance findings hereby transmitted complete the Planning stage Environmental Health review of the subject development project. In order to obtain Environmental Health final approval of the project OWTS Plot Plan and associated construction drawings (during Building Safety plan check), all conditions and plan check items listed below must be addressed through submittals to the Environmental Health office.

### **Conditions of Planning Conformance Review for Building Plan Check Approval**

- 1) **Final OWTS Plot Plan:** A final plot plan shall be submitted showing an onsite wastewater treatment system (OWTS) design meeting the minimum requirements of the MPC, and the LCP/LIP, including necessary construction details, the proposed drainage plan for the developed property, the proposed landscape plan for the developed property, and the proposed stormwater detention/dispersal plan. The OWTS Plot Plan shall show essential features of the OWTS, existing improvements, and proposed/new improvements. The plot must fit on an 11" x 17" sheet leaving a 5" left margin clear to provide space for a City-applied legend. If the plan scale is such that more space is needed to clearly show construction details and/or all necessary setbacks, larger sheets may also be provided (up to a maximum size of 18" x 22" for review by Environmental Health).
- 2) **Final OWTS Design Report, Plans, and System Specifications:** A final OWTS design report and construction drawings with system specifications (four sets) shall be submitted to describe the OWTS design basis and all components proposed for use in the construction of the OWTS. All plans and reports must be signed by the California-registered Civil Engineer, Registered Environmental Health Specialist, or Professional Geologist who is responsible for the design, and is a registered practitioner with the City of Malibu. The final OWTS design report and construction drawings shall be submitted with the designer's signature, professional registration number, and stamp (if applicable).

The final OWTS design submittal shall contain the following information (in addition to the items listed above).

- a. Required treatment capacity for wastewater treatment and disinfection systems. The treatment capacity shall be specified in terms of flow rate, gallons per day (gpd), and shall be supported by calculations relating the treatment capacity to the number of bedroom equivalents, plumbing fixture schedule, and the subsurface effluent dispersal system acceptance rate. The drainage fixture unit count must be clearly identified in association with the design treatment capacity, even if the design is based on the number of bedrooms. Average and peak rates of hydraulic loading to the treatment system shall be specified in the final design.
- b. Sewage and effluent pump design calculations (as applicable).
- c. Description of proposed wastewater treatment and/or disinfection system equipment. State the proposed type of treatment system(s) (e.g., aerobic treatment, textile filter, ultraviolet disinfection, etc.); major components, manufacturers, and model numbers for "package" systems; and the design basis for engineered systems.
- d. Specifications, supporting geology information, and percolation test results for the subsurface effluent dispersal portion of the onsite wastewater disposal system. This must include the proposed type of effluent dispersal system (drainfield, trench, seepage pit, subsurface drip, etc.) as well as the system's geometric dimensions and basic construction features.



Supporting calculations shall be presented that relate the results of soils analysis or percolation/infiltration tests to the projected subsurface effluent acceptance rate, including any unit conversions or safety factors. Average and peak rates of hydraulic loading to the effluent dispersal system shall be specified in the final design. The projected subsurface effluent acceptance rate shall be reported in units of total gallons per day (gpd) and gallons per square foot per day (gpsf). Specifications for the subsurface effluent dispersal system shall be shown to accommodate the design hydraulic loading rate (i.e., average and peak OWTS effluent flow, reported in units of gpd). The subsurface effluent dispersal system design must take into account the number of bedrooms, fixture units, and building occupancy characteristics.

- e. All OWTS design drawings shall be submitted with the wet signature and typed name of the OWTS designer. If the plan scale is such that more space than is available on the 11" x 17" plot plan is needed to clearly show construction details, larger sheets may also be provided (up to a maximum size of 18" x 22" for review by Environmental Health). [Note: For OWTS final designs, full-size plans for are also required for review by Building & Safety and Planning.]
- 3) **Building Plans:** All project architectural plans and grading/drainage plans shall be submitted for Environmental Health review and approval. These plans must be approved by the Building Safety Division prior to receiving Environmental Health final approval.
- 4) **Traffic-Rated Slab Plan(s):** All project traffic rated slab plans shall be submitted for Environmental Health review and approval. These plans must be approved by the Building Safety Division prior to receiving Environmental Health final approval.
- 5) **Notice of Decision:** The final onsite wastewater treatment system plans shall include the Conditions of Approval sections of the Notice of Decision (NOD) from the Planning Department.
- 6) **Proof of Ownership:** Proof of ownership of subject property shall be submitted.
- 7) **Operations & Maintenance Manual:** An operations and maintenance manual specified by the OWTS designer shall be submitted. This shall be the same operations and maintenance manual proposed for later submission to the owner and/or operator of the proposed alternative onsite wastewater disposal system.
- 8) **Maintenance Contract:** A maintenance contract executed between the owner of subject property and an entity qualified in the opinion of the City of Malibu to maintain the proposed alternative onsite wastewater disposal system after construction shall be submitted. **Please note only original "wet signature" documents are acceptable.**
- 9) **OWTS Covenant:** A covenant running with the land shall be executed between the City of Malibu and the holder of the fee simple absolute as to subject real property and recorded with the City of Malibu Recorder's Office. Said covenant shall serve as constructive notice to any future purchaser for value that the onsite wastewater treatment system serving subject property is an alternative method of sewage disposal pursuant to the City of Malibu Uniform Plumbing Code. Said covenant shall be provided by the City of Malibu Environmental Health Administrator. **Please submit a certified copy issued by the City of Malibu Recorder.**



- 10) **Project Geologist/Geotechnical Consultant Approval:** Project Geologist/Geotechnical Consultant final approval of the OWTS plan shall be submitted to the Environmental Health Administrator.
- 11) **City of Malibu Planning Approval:** City of Malibu Planning Department final approval of the OWTS plan shall be obtained.
- 12) **Conditional Use Permit:** A conditional use permit (CUP) shall be obtained from the City of Malibu Planning Department to hold the two properties as one and allow for the onsite wastewater treatment system at 22741 Pacific Coast Hwy. to service the effluent disposal for 22729 Pacific Coast Hwy. The CUP shall be submitted to the Environmental Health Administrator for review.
- 13) **Environmental Health Final Review Fee:** A final fee in accordance with the adopted fee schedule at the time of final approval shall be paid to the City of Malibu for Environmental Health review of the OWTS design and system specifications.
- 14) **Operating Permit Application and Fee:** In accordance with M.M.C. Chapter 15.14, an application shall be made to the Environmental Health office for an OWTS operating permit. An operating permit fee in accordance with the adopted fee schedule at the time of final approval shall be submitted with the application.
- 15) **Waste Discharge Requirements:** Submit wastewater plans, and all necessary supporting forms and reports, to the Los Angeles Regional Water Quality Control Board (RWQCB), 320 W. 4th St., Los Angeles, CA 90013, (213) 576-6600, to assure compliance with the California Water Quality Control Plan, Los Angeles Region (Basin Plan). RWQCB Waste Discharge Requirements shall be obtained and submitted to the City of Malibu Environmental Health Administrator.

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If you have any questions regarding the above requirements, please contact the Environmental Health office at your earliest convenience.

cc: Environmental Health file  
Planning Department



22729 PCH HOTEL:	15 Guest Rooms (N)
RESTAURANT:	39 Seats (N)
22741 PCH HOTEL:	21 Guest Rooms (N)
GREASE TRAP:	3,000 Gallon (N)
PUMP TANK:	3,000 Gallon (N)
TREATMENT TANK:	5,000 Gallon Tank (E) with 4.5 High Strength FAST unit (N)
DOSING TANK:	5,000 Gallon tank (N)
DISINFECTON:	3 - Norweco Bio-Kinetic BK 2000 disinfection units (N)
ACTIVE:	2 - 6 x 17' BI w/5' cap (SP-3) (SP-4) (E)
FUTURE:	2 - 6 x 17' BI w/5' cap (SP-1) (SP-2) (E)
PERC RATE:	39,150 gpd total
DESIGNER:	Larry Young (REHS 3738)
REFERENCE:	Lawrence Young OMTS Design Report dated 1-29-18, revised 2-28-18

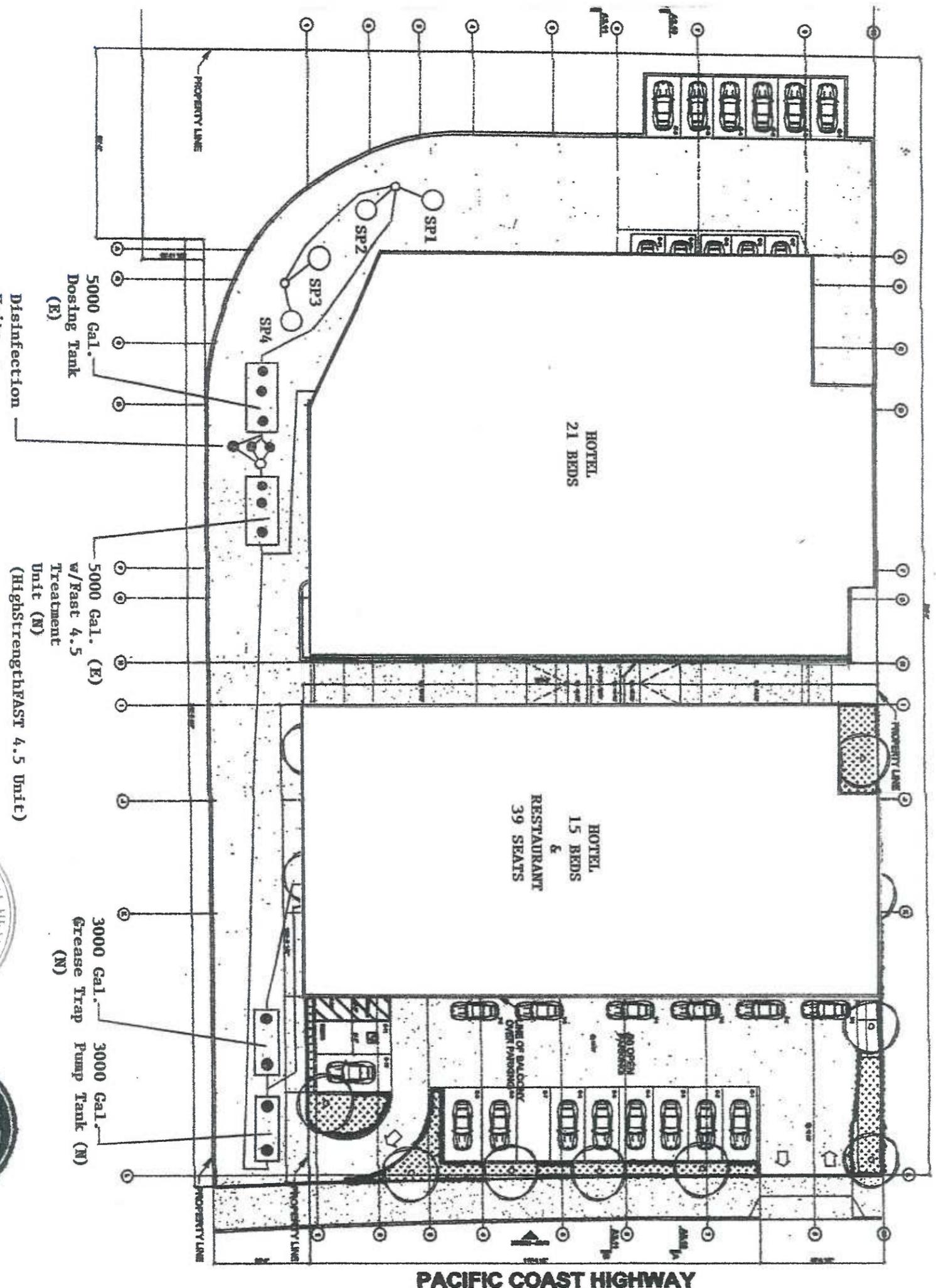
NOTES:

1. This conformance review is for a new 15 unit hotel with 39 seat restaurant, 21 unit hotel and renovated onsite wastewater treatment system (OWTS). The renovated OWTS shown conforms to the requirements of the City of Malibu Plumbing Code (MPC) and the Local Coastal Plan (LCP).
2. This conformance review relates only to the minimum requirements of the MPC, and the LCP, and does not include an evaluation of any geological or other potential problems, which may require an alternative method of wastewater treatment.
3. This conformance review is valid for one year, or until MPC, and/or LCP, and/or Administrative Policy changes render it noncomplying.

CONDITION OF APPROVAL:

1. A conditional use permit and a covenant to hold the two properties as one (22729 Pacific Coast Hwy. and 22741 Pacific Coast Hwy) must be obtained from the Planning Department and submitted to the Environmental Health Administrator.

CITY OF MALIBU ENVIRONMENTAL SUSTAINABILITY DEPT ENVIRONMENTAL HEALTH	
<b>CONFORMANCE REVIEW</b>	
MAR 29 2018	
SIGNATURE:	<i>Malinda Tolbert</i>
THIS IS NOT AN APPROVAL. FINAL APPROVAL IS REQUIRED PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS.	



○ 4 - 6' X 17' BI  
 w/5' Cap (E)  
 SP1 & SP2 = Futures  
 SP3 & SP4 = Active

5000 Gal. (E)  
 Dosing Tank (E)

5000 Gal. (E)  
 w/Fast 4.5  
 Treatment Unit (N)  
 (HighStrengthFAST 4.5 Unit)

3000 Gal. (N)  
 Grease Trap  
 Pump Tank (N)



FEB 28 2018

1" = 30'

PACIFIC COAST HIGHWAY



# City of Malibu

23825 Stuart Ranch Road • Malibu, California 90265-4861  
(310) 456-2489 • Fax (310) 317-1950 • www.malibucity.org

## GEOTECHNICAL REVIEW SHEET

<u>Project Information</u>		Review Log #:	4113
Date:	June 5, 2018	Planning #:	CDP 17-086
Site Address:	22729 and 22741 Pacific Coast Highway	BPC/GPC #:	
Lot/Tract/PM #:	n/a	Planner:	Lilly Rudolph
Applicant/Contact:	Norm Haynie, <a href="mailto:norm@blueonyxdesign.com">norm@blueonyxdesign.com</a>		
Contact Phone #:	310-456-5515	Fax #:	
Project Type:	New 36-room boutique hotel, grading-liquefaction mitigation, shoring, onsite wastewater treatment system (OWTS)		

<u>Submittal Information</u>	
Consultant(s) / Report Date(s): (Current submittal(s) in <b>Bold</b> .)	GeoSoils Consultants, Inc. (Miller, GE 2257; Ruberti, CEG 1708): <b>5-21-18</b> , 3-29-18, 12-26-17 (revised 2-8-18), 12-26-17 Lawrence Young (REHS # 3738): 2-28-18, 1-29-18, 11-20-17, 11-15-17 Ref: Stratum Geotechnical Consultants: 3-25-16, 8-4-14, 3-29-13, 7-3-09, 11-7-08, 10-8-07  Building plans prepared by DMP Construction, Inc. dated August 25, 2017. Grading plans prepared by LC Engineering Group, Inc. dated December 7, 2017. OWTS plans prepared by Lawrence Young dated February 28, 2018, January 29, 2018.
Previous Reviews:	5-9-18, 3-5-18, Geotechnical Review Referral Sheet dated 10-13-17: Ref: Environmental Health Review Sheet dated March 29, 2018, Environmental Health Review Sheet dated February 12, 2018

<u>Review Findings</u>	
<u>Coastal Development Permit Review</u>	
<input checked="" type="checkbox"/>	The hotel development project is <b>APPROVED</b> from a geotechnical perspective.
<input type="checkbox"/>	The hotel development project is <b>NOT APPROVED</b> from a geotechnical perspective. The listed 'Review Comments' shall be addressed prior to approval.
<u>Building Plan-Check Stage Review</u>	
<input checked="" type="checkbox"/>	<u>Awaiting Building plan check submittal.</u> Please respond to the listed 'Building Plan-Check Stage Review Comments' AND review and incorporate the attached 'Geotechnical Notes for Building Plan Check' into the plans.
<input type="checkbox"/>	<b>APPROVED</b> from a geotechnical perspective. Please review the attached 'Geotechnical Notes for Building Plan Check' and incorporate into Building Plan-Check submittals.
<input type="checkbox"/>	<b>NOT APPROVED</b> from a geotechnical perspective. The listed 'Building Plan-Check Stage Review Comments' shall be addressed prior to Building Plan-Check Stage approval.

**Remarks**

The response geotechnical report was reviewed by the City from a geotechnical perspective. The project includes constructing a new 6,958 square foot three-level 15-room boutique hotel with a 3,130 square foot basement-level restaurant and storage area and the conversion of an existing 16,557 square foot office building and parking structure into a 21-room boutique hotel with a 4,506 square foot rooftop deck with a pool, grill, and wet bar. Also proposed are landscaping, open space, and parking. Grading consists of 1,080 yards of R & R; 290 yards of cut under structure; and 290 yards of export. The existing onsite wastewater treatment system (OWTS) serving the office building at 22741 PCH will be upgraded to serve both hotels. The total maximum wastewater discharge for the project is 4,110 gpd. The new OWTS will consist of a new 3,000-gallon grease trap and 3,000-gallon concrete pump tank and pump vault which will pump effluent from the new hotel at 22729 PCH to the existing 5,000-gallon concrete tank and treatment system located at 22741 PCH. This tank discharges to two 6' diameter x 17' BI seepage pits (SP-1 and SP-2) with 5' caps (there is 100% expansion available for effluent disposal). The two existing seepage pits were tested and had a combined percolation rate of 56,719 gpd. The effluent will be adequately disposed into the existing seepage pits per the City of Malibu Plumbing Code.

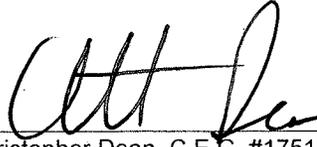
**Building Plan-Check Stage Review Comments:**

1. Please submit a fee of \$957.00 to City geotechnical staff for building plan check review.
2. The recommended at-rest pressure for the design of retaining walls appears to be low. Using the limit equilibrium method to calculate the at-rest pressure behind retaining walls may not be appropriate because the retaining wall is not capable of deflecting to fully mobilize shear resistance. An appropriate method of analyses (example: Navy Manual) should be utilized.
3. The Consultant recommends on page 22 that, "*Any anticipated, superimposed loading (i.e., upper retaining walls, traffic surcharge or other structures, etc.) within a 45-degree plane projected upward from the wall bottom, except retained earth, shall be considered as surcharge and provided for in the design.*" But footings below a 1:1 plane behind the retaining walls could laterally surcharge the retaining wall. Using the 1:1 criterion for lateral surcharge is not acceptable, unless substantiated with analyses and references. A recognized method of analyses should be considered (e.g.: 1- Spangler & Handy {1982}, Soil Engineering, fourth Edition, Harper & Row, New York. 2- Navy Design Manual NAVFAC DM-7.2, Figure 18). Mitigation measures should be recommended, as necessary.
4. The Cross-Sections show variable removals underneath the basement that will result in differential fill thicknesses. Please evaluate the potential for adverse impact (example: differential settlement) on slabs-on-grade and other ancillary improvements (if any) due to differential fill thickness. Mitigation measures should be recommended as necessary.
5. Please discuss the potential for uplift forces on low grade improvements due to relatively shallow historical depth to groundwater and to FEMA anticipated flood elevation at the site. Mitigation measures should be recommended, as necessary.
6. Please provide details and sections of the proposed vertical subdrain and redheads supported plywood. Please indicate possible outlets for backdrains behind the basement side walls as previously requested in Comment #14 of the March 5, 2018 review letter. The outlet of the drainage pipe should be indicated on the geotechnical map and grading plan.
7. Please provide a set of shoring plans for review.
8. Please provide reduced setback letters from the OWTS, geotechnical, and structural consultants for any reduced setbacks between the OWTS components and foundations, as applicable.

9. The Project Geotechnical Consultant shall evaluate the lateral deflection and rotation of piles under applied lateral shear forces and bending moments when they become available. Maximum acceptable deformations should be reviewed and approved by the project structural engineer.
10. Section 7.4 of the City's geotechnical guidelines requires a minimum thickness of 10 mils for vapor barriers beneath slabs-on-grade. The Building plans shall reflect this requirement.
11. The following a note needs to be included into the grading and building plans. *'Prior to the placement of concrete slabs, the slab subgrade soils shall be pre-moistened to at least 120% of the optimum moisture content to the depth specified by the geotechnical engineer. The pre-moistened soils should be tested and verified to be by the geotechnical engineer within one day prior to the placement of the moisture barrier and sand.'*
12. Please include the following note on the plans; *"The Project Geotechnical Consultant shall prepare an as-built report documenting the installation of the pile foundation elements for review by City Geotechnical staff. The report shall include total depths of the piles, depth into the recommended bearing material, and a map depicting the locations of the piles."*
13. Please include the following note on the plans: *"The Project Geotechnical Consultant shall prepare an as-built report documenting the installation of the soldier pile foundation (shoring) elements for review by City Geotechnical staff. The report shall include total depths of the piles, depth into the recommended bearing material, and a map depicting the locations of the soldier piles."*
14. Two sets of final grading, shoring, retaining wall, and hotel plans (**APPROVED BY BUILDING AND SAFETY**) incorporating the Project Geotechnical Consultant's recommendations and items in this review sheet must be **reviewed and wet stamped and manually signed by the Project Engineering Geologist and Project Geotechnical Engineer**. City geotechnical staff will review the plans for conformance with the Project Geotechnical Consultants' recommendations and items in this review sheet over the counter at City Hall. **Appointments for final review and approval of the plans may be made by calling or emailing City Geotechnical staff.**

Please direct questions regarding this review sheet to City Geotechnical staff listed below.

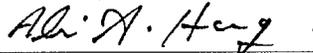
Engineering Geology Review by:



Christopher Dean, C.E.G. #1751, Exp. 9-30-18  
Engineering Geology Reviewer  
(310-456-2489, x306)  
Email: [cdean@malibucity.org](mailto:cdean@malibucity.org)

6/5/18  
Date

Geotechnical Engineering Review by:



Ali Abdel-Haq, G.E. #2308, Exp. 12-31-19 Date  
Geotechnical Engineering Reviewer (805-496-1222)  
Email: [ali@geodynamics-inc.com](mailto:ali@geodynamics-inc.com)

6/5/2018

*This review sheet was prepared by representatives of Cotton, Shires and Associates, Inc. and GeoDynamics, Inc., contracted through Cotton, Shires and Associates, Inc., as an agent of the City of Malibu.*



**COTTON, SHIRES AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS AND GEOLOGISTS



**GeoDynamics, Inc.**

Applied Earth Sciences  
Geotechnical Engineering & Engineering Geology Consultants



# City of Malibu

– GEOTECHNICAL –

## NOTES FOR BUILDING PLAN-CHECK

The following standard items should be incorporated into Building Plan-Check submittals, as appropriate:

1. One set of grading, retaining wall, and hotel plans, incorporating the Project Geotechnical Consultant's recommendations and items in this review sheet, must be submitted to City geotechnical staff for review. **Additional review comments may be raised at that time that may require a response.**
2. Show the name, address, and phone number of the Project Geotechnical Consultant(s) on the cover sheet of the Building and Grading Plans.
3. Include the following note on Grading and Foundation Plans: "*Subgrade soils shall be tested for Expansion Index prior to pouring footings or slabs; Foundation Plans shall be reviewed and revised by the Project Geotechnical Consultant, as appropriate.*"
4. Include the following note on the Foundation Plans: "*All foundation excavations must be observed and approved by the Project Geotechnical Consultant prior to placement of reinforcing steel.*"
5. The Foundation Plans for the proposed project shall clearly depict the embedment material and minimum depth of embedment for the foundations in accordance with the Project Geotechnical Consultant's recommendations.
6. Show the onsite wastewater treatment system on the Site Plan.
7. Please contact the Building and Safety Department regarding the submittal requirements for a grading and drainage plan review.
8. A comprehensive Site Drainage Plan, incorporating the Project Geotechnical Consultant's recommendations, shall be included in the Plans. Show all area drains, outlets, and non-erosive drainage devices on the Plans. Water shall not be allowed to flow uncontrolled over descending slopes.

all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map. This comment must be included as a note on the grading plans.

### **Retaining Walls (As Applicable)**

1. Show retaining wall backdrain and backfill design, as recommended by the Geotechnical Consultant, on the Plans.
2. Retaining walls separate from a residence require separate permits. Contact the Building and Safety Department for permit information. One set of retaining wall plans shall be submitted to the City for review by City geotechnical staff. Additional concerns may be raised at that time which may require a response by the Project Geotechnical Consultant and applicant.

### **Grading Plans (as Applicable)**

1. Grading Plans shall clearly depict the limits and depths of overexcavation, as applicable.
2. Prior to final approval of the project, an as-built compaction report prepared by the Project Geotechnical Consultant must be submitted to the City for review. The report must include the results of all density tests as well as a map depicting the limits of fill, locations of all density tests, locations and elevations of all removal bottoms, locations and elevations of all keyways and back drains, and locations and elevations of



# City of Malibu

23825 Stuart Ranch Road  
 Malibu, California 90265  
 (310) 456-2489 Fax (310) 317-1950

## GEOTECHNICAL REVIEW FIXED FEE FORM

PROJECT OWNER/APPLICANT: Norm Haynie  
 PROJECT ADDRESS: 22729 Pacific Coast Highway  
 GEOTECHNICAL LOG NO: 4113  
 PLANNING NO: CDP 17-086  
 PLAN CHECK NO: \_\_\_\_\_

ITEM	STATUS	DATE	DEPOSIT	CHARGE	BALANCE	COMMENTS
FIXED FEE BY: Norm Haynie		9/5/2017	\$4,375.00		\$0.00	Fixed Fee
Initial Review, CDP 17-086	Response Required	3/5/2018		\$0.00	\$0.00	Items to address
Second review, CDP 17-086	Response Required	5/9/2018		\$0.00	\$0.00	Items to address
Additional Reviews: Time & Material			<del>XXXXXX</del>	<del>XXXXXX</del>	<del>XXXXXX</del>	
Supplemental T & M Deposit		5/22/2018	\$1,242.00	\$0.00	\$1,242.00	Check # 4095
Third Review, CDP 17-086	Approved	6/5/2018		\$828.00	\$414.00	Planning Only
Applicant Paid Balance Due						
Fifth review						
Applicant Paid Balance Due						
					\$0.00	
REFUND DUE APPLICANT						REFUND # _____
BALANCE DUE CITY OF MALIBU						

**NOTE:**

The Fixed Fee incorporates the initial and one subsequent geotechnical review. Subsequent reviews will be performed in accordance with the City's time and materials rate of \$207.00 per hour.





# City of Malibu

23825 Stuart Ranch Rd., Malibu, California CA 90265-4804  
(310) 456-2489 FAX (310) 456-7650

[www.malibucity.org](http://www.malibucity.org)

## CONDITIONAL USE PERMIT REFERRAL SHEET

TO: Los Angeles County Sheriff - Malibu Lost Hills Station

FROM: City of Malibu Planning Department

DATE: 9/5/2017

PROJECT NUMBER: CDP 17-086

JOB ADDRESS: 22729 PACIFIC COAST HWY

APPLICANT / CONTACT: Norman Haynie, Blue Onyx Design and Engineerin

APPLICANT ADDRESS: 22741 Pacific Coast Highway #400  
Malibu, CA 90265

APPLICANT PHONE #: (310) 456-5515

APPLICANT FAX #: (310) 456-9821

PROJECT DESCRIPTION: New 36-Room Boutique Hotel - Sea View Hotel

This Approval Form (including detailed project description and plans) will be forwarded to:

Deputy John Peck  
27050 Agoura Road, Calabasas, CA 91302  
(818) 878-1808 Fax (818) 880-5209  
Hours: Monday – Thursday 9:00 a.m. – 5:00 p.m.

Planning Staff to send review packet to [mrwoodar@lasd.org](mailto:mrwoodar@lasd.org).

Separate applications and fees may be required by the Sheriff's Department. A CUP will not be issued until this form, signed by an authorized member of this agency, has been returned to the City of Malibu. Any conditions imposed by this agency will be included in the CUP.

Approved  Denied (reasons below) Conditions imposed:  No  Yes (see below)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DEPUTY B. KNOTT 1/28/2021  
NAME DATE  
B/K #487215 DS6  
SIGNATURE TITLE

