

• ADDRESS: 22959 PACIFIC COAST HIGHWAY
MALIBU, CA 90265

• LOT AREA: 51,352 SQ.FT. (1.18 ACRES)

• MAX. ALLOWABLE F.A.R.: 15% x 51,352 SQ.FT. = **7,703 SQ.FT.** **PROPOSED 7,693 SQ. FT.**

• REQUIRED LANDSCAPING: 40% x 51,352 SQ.FT. = **20,540.8 SQ.FT.** **29,173 SQ. FT. (=57%)**

• REQUIRED OPEN SPACE: 25% x 51,352 SQ.FT. = **12,838 SQ.FT.** **27,652 SQ. FT. (=54%)**

• FLOOR AREA TABULATION :

GROUND GARAGE PARKING (SUBTERRANEAN)=	PROPOSED 51 SQ.FT.	UNOCCUPIED 9,102 SQ. FT.
LOBBY FLOOR & STORAGE : (389 + 86) =	475 SQ.FT.	
FIRST FLOOR: (1508 +2377) =	3885 SQ.FT.	
SECOND FLOOR: (3251+31) =	3282 SQ.FT.	
TOTAL FAR :	7693 SQ.FT.	
ROOF DECK		3,139 SQ. FT.
TOTAL AREA (FOR FIRE DEPARTMENT)		19,934 SQ.FT.

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MARK	DATE	DESCRIPTION

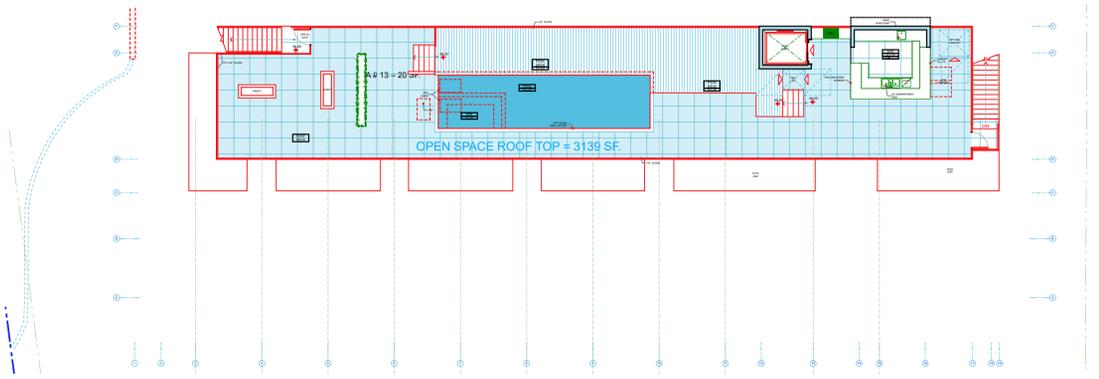
MALIBU INN MOTEL
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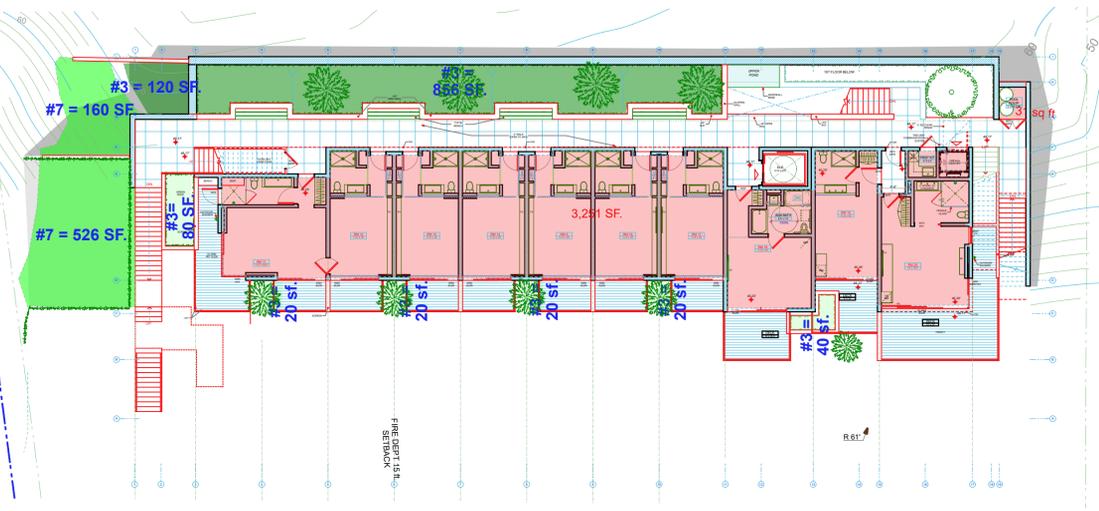
SHEET TITLE
FAR & FLOOR AREA TABULATION
DRAWING NO.

T-1.3.1

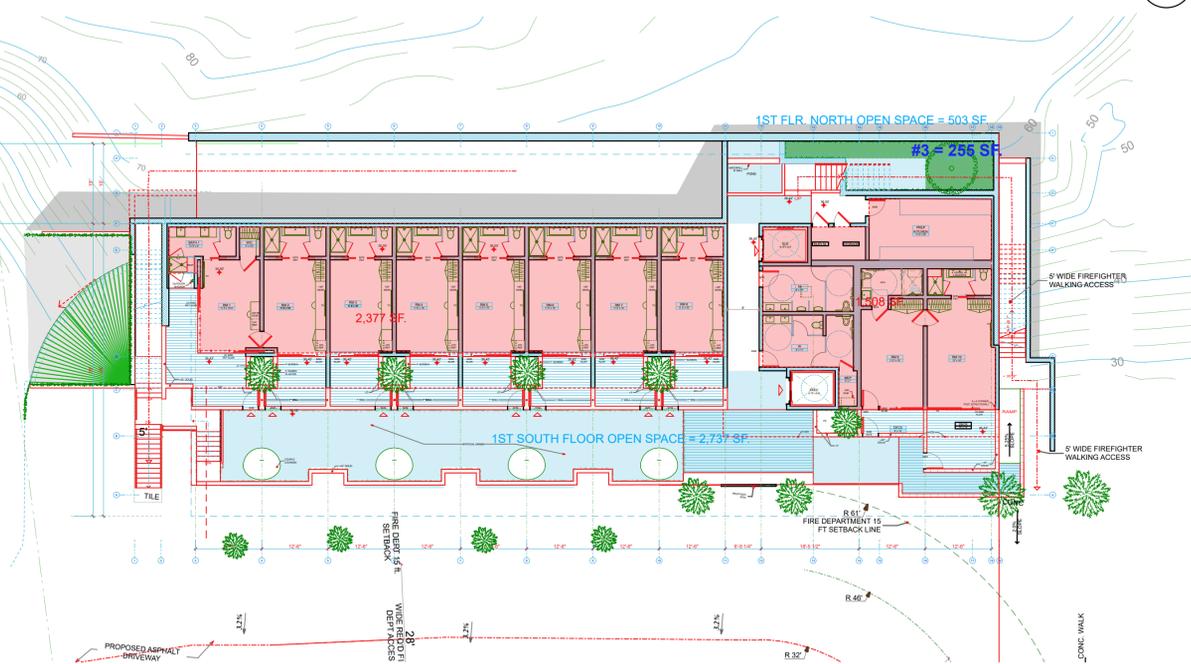
PLOT DATE: 3/5/20
SCALE
DRAWN BY



AREA TABULATION ROOF DECK
SCALE: 1/16" = 1'-0" **4**



AREA TABULATION 2ND FLR
SCALE: 1/16" = 1'-0" **3**



AREA TABULATION 1ST FLR.
SCALE: 1/16" = 1'-0" **2**



AREA TABULATION GROUND LEVEL
SCALE: 1/16" = 1'-0" **1**

LANDSCAPE AREA TABULATION:

TOTAL LOT SIZE:
GROSS AREA 51,352 SF (PER SURVEY) , **NET AREA** = 49,413 SF.

REQUIRED OPEN SPACE : 25% X 51,352 SF. = 12,838 SF.

REQUIRED LANDSCAPE AREA= 40% x 51,352 SQ. FT = 20,540 SQ. FT.

NATURAL UNDISTURBED HILLSIDE OPEN SPACE = 17,666 SF.
 TOTAL PLANTED AREA = 11,507 SF.
PROPOSED TOTAL LANDSCAPING AREA/ PERMEABLE AREA /OPEN SPACE = 29,173 SQ. FT. (57% OF LOT AREA)

- LANDSCAPE AREA TABULATION:

- AREA #3 - LANDSCAPE PLANTED AREA (MEDIUM WATER USE) = 1,521 SF.
- AREA #4 - HEDGE (MEDIUM WATER USE) = 276 SF.
- AREA #5 - WQMP PLANTER = 1,618 SF.
- AREA #6 - DROUGHT TOLERANT PLANTED AREA = 1,453 SF.
- AREA #7 - HILLSIDE DROUGHT TOLERANT PLANTED AREA = 6,639 SF.

BLDG FOOT PRINT & IMPERMEABLE DRIVEWAY & EXTERIOR STAIRS = 22,179 SF. (43% OF LOT AREA)

PARKING LOT & PLANTING AREA :

- FRONT YARD PARKING AREA = 9,734 SF.
- 5% OF PARKING LOT REQUIRED FOR PLANTED AREA = 486 SF.
- PROPOSED PLANTED AREAS WITHIN THE PARKING LOT = 1,456 SF.
- PROPOSED PLANTED PERIMETER AREAS WITHIN THE PARKING LOT = 683 SF.
- PROPOSED PLANTED INTERIOR AREAS WITHIN THE PARKING LOT = 773 SF.
 (8% FRONT YARD PARKING AREA)



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 22959 PACIFIC COAST HIGHWAY

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 ARCHITECTS
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 24811 PACIFIC COAST HWY. MALIBU, CA 90263 TEL. 310-456-0965

SHEET TITLE
AREA TABULATION LANDSCAPE
 DRAWING NO.
T-1.3.2

PLOT DATE 3/5/20
 SCALE
 DRAWN BY

PROPERTY ADDRESS

(VACANT) PACIFIC COAST HIGHWAY
MALIBU, CA 90265

ASSESSOR'S PARCEL NO:

4452-019-005 (LOS ANGELES COUNTY)

LEGAL DESCRIPTION:

A PARCEL OF LAND IN THE CITY OF MALIBU, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING A PORTION OF THE RANCHO 'OPANGA MALIBU, SECUT, AS CONFIRMED TO MATHEW KELLER BY PATENT RECORDED IN BOOK 1 PAGE(S) 407 ET SEQ., OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF THE 20 FOOT PARCEL DESCRIBED IN THE DEED FROM MARBLEHEAD LAND COMPANY TO THE STATE OF CALIFORNIA, RECORDED IN BOOK 16845 PAGE 2213, OFFICIAL RECORDS OF SAID COUNTY, SAID POINT OF BEGINNING BEING NORTH 24° 50' 30" WEST 60 FEET FROM ENGINEER'S CENTER LINE STATION 947 PLUS 68.93 AT THE WESTERLY EXTREMITY OF THAT CERTAIN CENTER LINE COURSE DESCRIBED AS "NORTH 65° 09' 30" EAST 735.70 FEET" IN THE DEED OF THE 80 FOOT STRIP OF LAND FROM T.R. CADWALADER, ET AL. TO THE STATE OF CALIFORNIA, RECORDED IN BOOK 15228 PAGE 342, OFFICIAL RECORDS OF SAID COUNTY; THENCE WESTERLY 173.00 FEET ALONG THE NORTHERLY LINE OF SAID 20 FOOT STRIP ON THE ARC OF A CURVE NORMAL TO THE COURSE OF NORTH 24° 50' 30" WEST AND CONCAVE SOUTHEASTERLY WITH A RADIUS OF 2060 FEET TO THE SOUTHEASTERLY CORNER OF THE PARCEL OF LAND DESCRIBED IN A DEED FROM MARBLEHEAD LAND COMPANY TO SEBASTIAN S.V. ARRIETA RECORDED IN BOOK 17257 PAGE 281, OFFICIAL RECORDS OF SAID COUNTY; THENCE NORTH 32° 26' 05" WEST 240 FEET ALONG THE EASTERLY LINE OF SAID LAST MENTIONED PARCEL AND ITS PROLONGATION NORTHERLY; THENCE NORTH 62° 50' 36" EAST 231.69 FEET; THENCE SOUTH 24° 50' 30" EAST 240 FEET, MORE OR LESS, TO A POINT IN THE NORTHERLY LINE OF THE 20 FOOT STRIP HEREINBEFORE MENTIONED; THENCE SOUTH 65° 09' 30" WEST 27 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ALL MINERALS, OIL, PETROLEUM, ASPHALTUM, GAS, COAL, AND OTHER HYDROCARBON SUBSTANCES IN, ON, WITHIN AND UNDER SAID LANDS AND EVERY PART THEREOF, BUT WITHOUT SURFACE RIGHT OF ENTRY, AS RESERVED BY MARBLEHEAD LAND COMPANY IN DEED RECORDED AUGUST 15, 1944 IN BOOK 21117 PAGE 357, OFFICIAL RECORDS.

BASIS OF BEARINGS:

THE BEARING OF N 48° 30' 10" E BETWEEN FOUND 3/4" IRON PIPE, TAG ILL, AND 2" IRON PIPE, OPEN, AS PER LEGAL DESCRIPTIONS ABOVE, FILED AS GRANT DEED 02-2272818 (APN 4452-019-004) AND GRANT DEED 03-3447082 IN LOS ANGELES COUNTY, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCH MARK:

MALIBU 20.262' USC&GS MON FL 27M S/O C/L PACIFIC (Y-5389) (2003)
COAST HWY @ NW COR OF ENT GATE TO MALIBU FISHING PIER MKD (R 576 1939) 14M S/O CF

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON NAVD 1988 DATUM.

NOTES:

- 1) TITLE REPORT USED FOR THIS SURVEY WAS PREPARED BY FIRST AMERICAN TITLE COMPANY ORDER NO. 365453, DATED NOVEMBER 4, 2008, EASEMENTS, AS SHOWN ON THIS MAP ARE FROM INFORMATION OBTAINED FROM SAID TITLE REPORT.
- 2) PERTAINING TO SURVEY AND TOPO MAP, IF RETAINING WALLS OR SIMILAR STRUCTURES ARE TO BE DESIGNED FROM CONTOURS SHOWN ON THIS MAP, GROUND ELEVATIONS AT CRITICAL POINTS CONTROLLING THE DESIGN SHOULD BE VERIFIED BY DIRECT LOCATION AND LEVELS PRIOR TO FINAL DESIGN ADOPTION.
- 3) UTILITIES, IF LOCATED, ARE BY SURFACE EVIDENCE ONLY. (MANHOLES, WATER METERS, GAS METERS, POWER POLES, ETC.)
- 5) GROSS PARCEL AREA - 51,352 SQ. FT. / 1.18 ACRES

SLOPE ANALYSIS LEGEND:

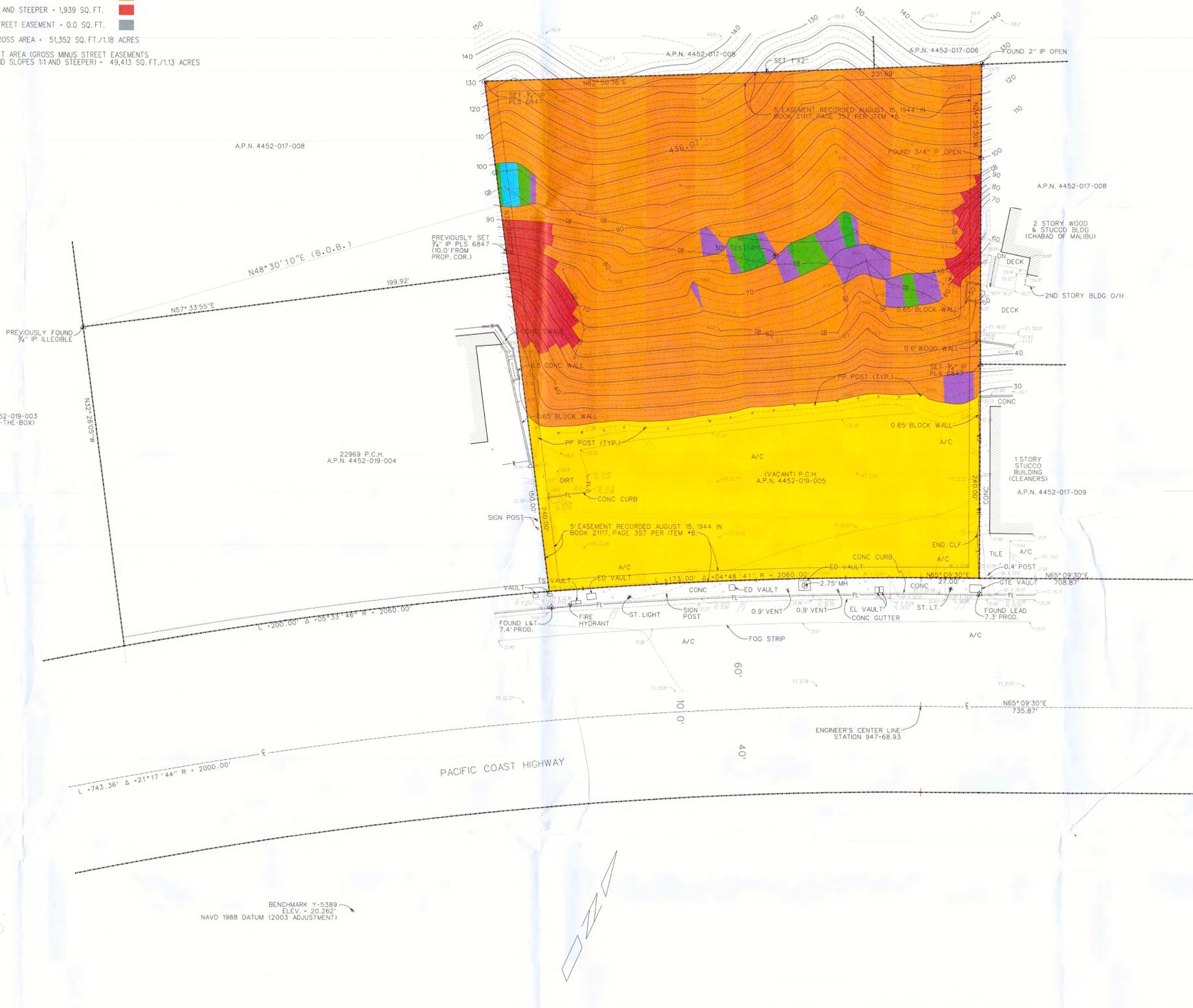
- FLATTER THAN 5:1 - 16,526 SQ. FT.
- 5:1 TO 4:1 - 163 SQ. FT.
- 4:1 TO 3:1 - 758 SQ. FT.
- 3:1 TO 2 1/2:1 - 1,398 SQ. FT.
- 2 1/2:1 TO 1:1 - 30,568 SQ. FT.
- 1:1 AND STEEPER - 1,939 SQ. FT.
- STREET EASEMENT - 0.0 SQ. FT.
- GROSS AREA - 51,352 SQ. FT./1.18 ACRES
- NET AREA (GROSS MINUS STREET EASEMENTS AND SLOPES 1:1 AND STEEPER) - 49,413 SQ. FT./1.13 ACRES

LIST OF ABBREVIATIONS:

- 1X2 1"X2" WOOD
- AC UNIT AIR CONDITIONING UNIT
- A/C ASPHALT
- BBO BARBEQUE
- BLK BLOCK
- B.O.B. BASIS OF BEARING
- BRK BRICK
- CLR CLEAR
- CN CONCRETE NAIL
- CONC CONCRETE
- DI DRAIN INLET
- DO DRAIN OUTLET
- DN DOWN
- ENCR ENCROACHMENT
- ETCH "X" ETCHED OR SCRIBED "X"
- FD FOUND
- FH FIRE HYDRANT
- FF FINISHED FLOOR
- FL FLOW LINE
- FS FINISHED SURFACE
- GM GAS METER
- GV GAS VALVE
- H&T HUB & TACK
- ICV IRRIGATION CONTROL VALVE
- IP IRON PIPE
- L&T LEAD & TACK
- MH MANHOLE
- MHTL MEAN HIGH TIDE LINE
- O/H OVER HANG
- PILE CONC PILE / CAISSON
- PP POWER POLE
- PMX PAINT MARK "X"
- RRT RAIL ROAD TIE
- SP SIGN POST
- SPK SPK
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- TC TOP CURB
- TW TOP WALL
- W WASHER
- WM WATER METER
- WV WATER VALVE

LEGEND:

- PROPERTY LINE: ————
- STREET CENTERLINE: ————
- EASEMENT: ————
- MONUMENT: ————
- STREET LIGHT (ST.LT.): ————
- ASPHALT (A/C): ————
- BUILDING: ————
- CHAIN LINK FENCE (C.L.F.): ————
- WOOD FENCE: ————
- WIRE FENCE: ————
- WROUGHT IRON-FENCE: ————
- CONCRETE (CONC.): ————
- TILE: ————
- SLATE/FLAGSTONE: ————
- GRAVEL: ————
- BRICK (BRK): ————
- MANHOLE (M.H.): ————
- TREES: PINE, PALM, EUC, OAK, TREE, SYC, PEPPER, CORK, OLIVE



NAV 1988 DATUM (2003 ADJUSTMENT)

BENCHMARK Y-5389
ELEV. = 20.262'

22969 P.C.H.
A.P.N. 4452-019-004

PREVIOUSLY SET 3/4" IP PLS 6847 (10.0' FROM PROP. COR.)

PREVIOUSLY FOUND 7/4" IP ILLIGIBLE

A.P.N. 4452-017-008

A.P.N. 4452-017-006

A.P.N. 4452-017-008

A.P.N. 4452-017-009

2 STORY WOOD & STUCCO BLDG (CHABAD OF MALIBU)

2ND STORY BLDG O/H

1 STORY STUCCO BUILDING (CLEANERS)

ENGINEER'S CENTER LINE STATION 947-68.93

PACIFIC COAST HIGHWAY

20 0 20 40 60

COLOR CODED SLOPE ANALYSIS

REVISIONS: 2/17/2015 FIELD UPDATE 5/8/18 FIELD UPDATE	SURVEYED FOR: HAKIM HOLDINGS, LLC 9350 WILSHIRE BLVD. SUITE 300 BEVERLY HILLS, CA 90212	SURVEYED BY: LAND & AIR SURVEYING BOUNDARY - TOPOGRAPHIC - ALTA SURVEY SUBDIVISION - PARCEL MAP 30701 PACIFIC COAST HIGHWAY MALIBU, CA 90265 PHONE: (310) 456-0381 FAX: (310) 456-0651	SCALE: 1 OF 1	DRAWN BY: MS
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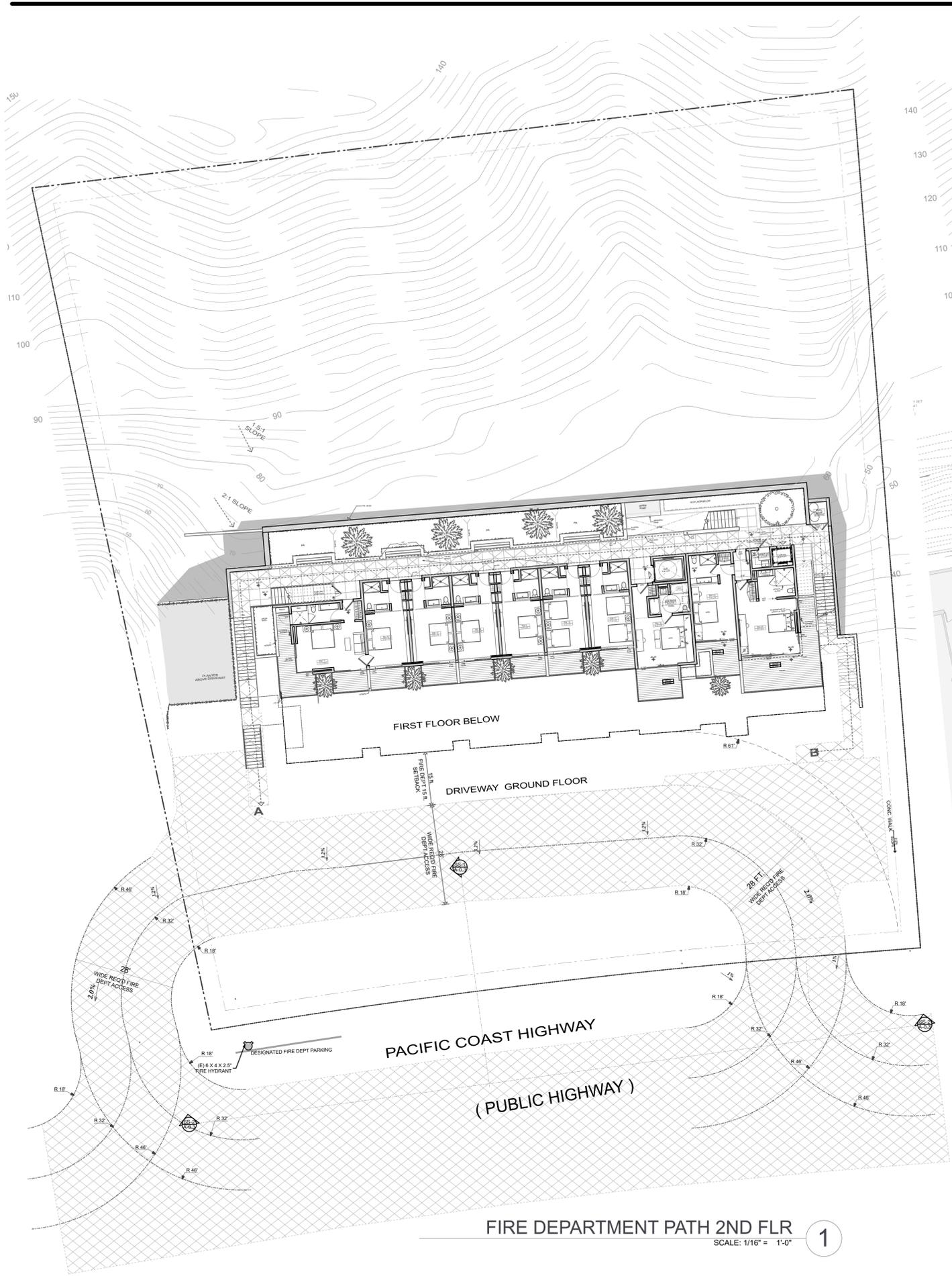
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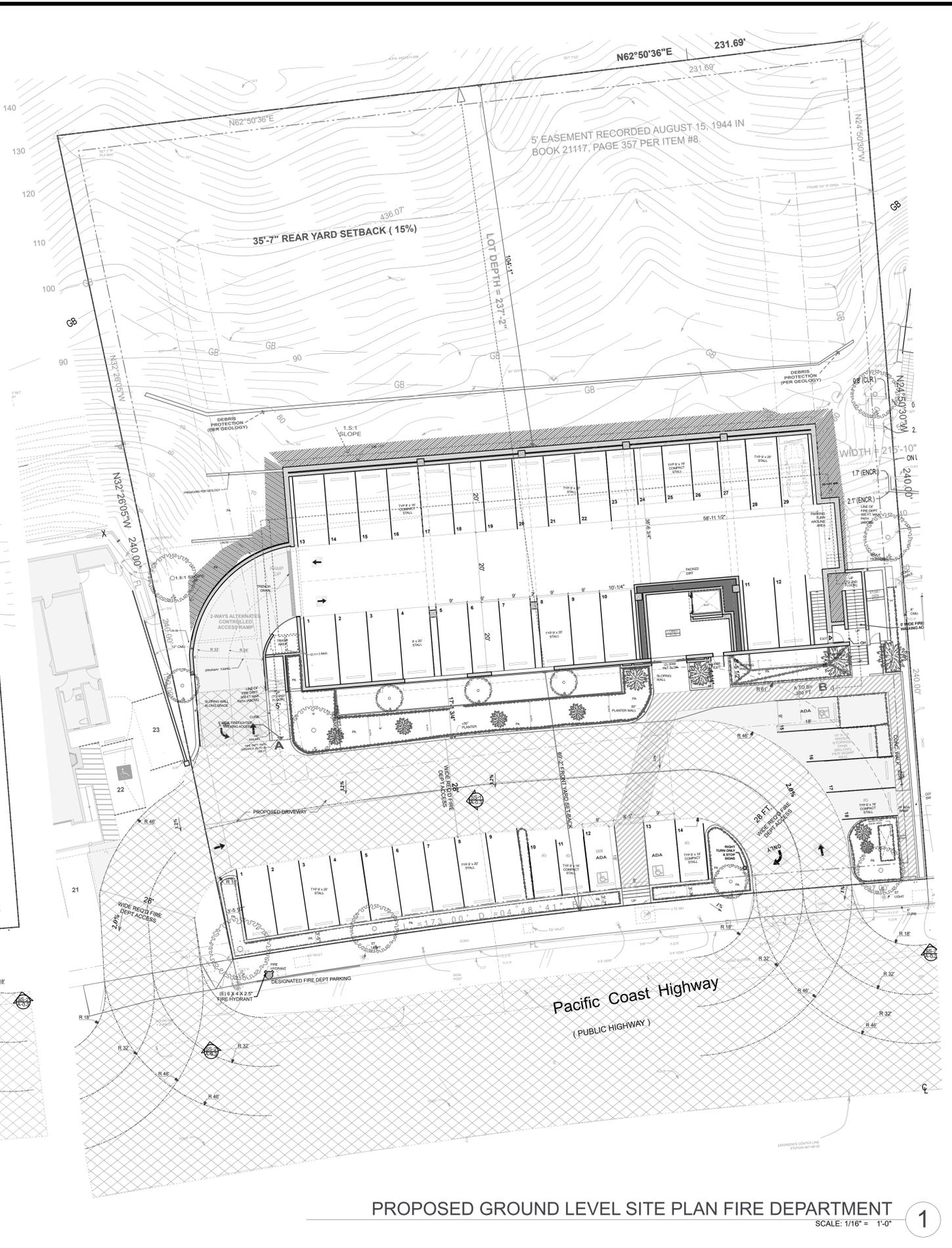
SHEET TITLE
COLOR SLOPE ANALYSIS

DRAWING NO.
T-1.4

PLOT DATE 3/5/20
SCALE
DRAWN BY



FIRE DEPARTMENT PATH 2ND FLR
SCALE: 1/16" = 1'-0" 1



PROPOSED GROUND LEVEL SITE PLAN FIRE DEPARTMENT
SCALE: 1/16" = 1'-0" 1

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22959 PACIFIC COAST HIGHWAY

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MALIBU, CA 90262
WWW.BUAIA.COM

SHEET TITLE
FIRE DEPARTMENT SITE PLAN
DRAWING NO.

FD-1

PLOT DATE: 2/25/20
SCALE
DRAWN BY

FIRE DEPARTMENT NOTES

1. PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 28 FEET, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6 AND AN UNOBSTRUCTED VERTICAL CLEARANCE "CLEAR TO SKY" FIRE DEPARTMENT VEHICULAR ACCESS TO WITHIN 150 FEET OF ALL PORTIONS OF THE EXTERIOR BUILDING WALLS. FIRE CODE 503.2.1
 2. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED FIRE DEPARTMENT TURNAROUND. FIRE CODE 503.2.5
 3. FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE PROVIDED WITH A 32 FOOT CENTERLINE TURNING RADIUS. FIRE CODE 503.2.4
 4. THE GRADIENT OF FIRE DEPARTMENT VEHICLE ACCESS ROADS SHALL NOT EXCEED 15% UNLESS APPROVED BY THE FIRE CODE OFFICIAL. FIRE CODE 503.2.7
 5. A MINIMUM 5 FOOT WIDE APPROVED FIREFIGHTER ACCESS WALKWAY LEADING FROM THE FIRE APPARATUS ACCESS ROAD TO THE BUILDINGS EXTERIOR OPENINGS SHALL BE PROVIDED FOR FIREFIGHTING AND RESCUE PURPOSES. FIRE CODE 504.1
 6. GRADE BREAKS SHALL NOT EXCEED THE MAXIMUM ANGLE OF APPROACH OR DEPARTURE FOR FIRE DEPARTMENT APPARATUS.
 7. THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE FIRE SPRINKLER PIPING SHALL BE WITNESSED BY AN AUTHORIZED FIRE DEPARTMENT REPRESENTATIVE. FIRE CODE 901.6
 8. PROVIDE AN APPROVED AUTOMATIC FIRE SPRINKLER PLAN AS SET FORTH BY BUILDING CODE 903 AND FIRE CODE 903. PLANS SHALL BE SUBMITTED TO THE SPRINKLER PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- REASON: FIRE CODE 903.3.1.1 - MULTI-OCCUPANCIES (R-1, S-2, B)
TYPE OF FIRE SPRINKLER SYSTEM: 903.3.1.1 - NFPA 13
9. FIRE DEPARTMENT VEHICULAR ACCESS ROADS SHALL BE HARD SCAPE ALL WEATHER ACCESS IN ACCORDANCE WITH THE DEPARTMENT'S ALL WEATHER ACCESS REQUIREMENTS. FIRE CODE 503.2.3
 10. STRUCTURES AND OUTDOOR STORAGE UNDERNEATH HIGH VOLTAGE TRANSMISSION LINES (66 KILOVOLTS OR GREATER) SHALL COMPLY WITH FIRE CODE 316.6 AND COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 27. ANY PROPOSED CONSTRUCTION OR LAND USE WITHIN 100 FEET OF THE DRIP LINE OF HIGH VOLTAGE TRANSMISSION LINES SHALL BE SUBJECT TO REVIEW BY THE FIRE MARSHAL.
 11. ALL FIRE HYDRANTS SHALL MEASURE 6" x 4" x 2 1/2". BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8.
 12. ALL REQUIRED PUBLIC FIRE HYDRANTS SHALL BE INSTALLED, TESTED AND ACCEPTED PRIOR TO BEGINNING CONSTRUCTION. FIRE CODE 501.4
 13. APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1
 14. THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL. BUILDING CODE 1006.2
 15. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. BUILDING CODE 1006.3
 16. ELEVATORS, ESCALATORS AND MOVING WALKS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN BUILDING CODE CHAPTER 30.
 17. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. BUILDING CODE 1008.1.9
 18. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS REQUIRED BY FIRE CODE 906.
 19. ALL ROOF COVERINGS SHALL BE CLASS "A" AS SPECIFIED IN BUILDING CODE 1505.1.1 (RESIDENTIAL CODE R327.5.2 & R902)
 20. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.5.34 AND BUILDING CODE 705A.4)

21. CLEARANCE OF BRUSH AND VEGETATIVE GROWTH SHALL BE MAINTAINED PER FIRE CODE 325
22. A MANUAL FIRE ALARM SYSTEM THAT ACTIVATES THE OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH FIRE CODE 907.5 AND BUILDING CODE 907.5 SHALL BE IN GROUP R1 AND R-2 OCCUPANCIES AS REQUIRED BY FIRE CODE 907.2.8.1 AND BUILDING CODE 907.2.8.1 FOR GROUP R-1 OCCUPANCIES; FIRE CODE 907.2.9.1 OR BUILDING CODE 907.2.9.1 FOR GROUP R-2 OCCUPANCIES. FIRE ALARM PLANS SHALL BE SUBMITTED TO THE FIRE ALARM PLAN CHECK UNIT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
23. FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION. FIRE CODE 501.4
24. AN APPROVED KEY BOX, LISTED IN ACCORDANCE WITH UL 1037 SHALL BE PROVIDED AS REQUIRED BY FIRE CODE 506. THE LOCATION OF EACH KEY BOX SHALL BE DETERMINED BY THE FIRE INSPECTOR.
25. BUILDINGS AND STRUCTURES WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS MEETING THE REQUIREMENTS OF 3002.4.1a THROUGH 3002.4.7a. BUILDING CODE 3002.4a
26. DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE CODE 304.3.3
27. ROOF VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO.72 ASTM CAP SHEET MEETING RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R327.5.3 AND BUILDING CODE 705A.3)

FIRE FLOW AVAILABILITY

THE REQUIRED FIRE FLOW FOR FIRE HYDRANTS AT THIS LOCATION IS 2000 GPM, AT 20 PSI RESIDUAL PRESSURE, FOR A DURATION OF 2 HOURS OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 507.3, AND APPENDIX B.

THE REQUIRED FIRE FLOW IS BASED ON THE FOLLOWING CALCULATION:
TYPE OF CONSTRUCTION PER THE BUILDING CODE: TYPE VB
FIRE-FLOW CALCULATION AREA: 7,703 SQ. FT
FIRE FLOW BASED ON THE FIRE-FLOW CALCULATION AREA: 2,250 GPM
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%): 250 GPM
TOTAL FIRE FLOW REQUIRED: 2,000 GPM

SYMBOL

SINGLE- AND MULTIPLE- STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075. CARBON MONOXIDE ALARMS REQUIRED BY (SECTIONS R315.1 AND R315.2) OR (SECTIONS 420.4.1 AND 420.4.2) SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S); 2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS; 3. FOR R-1 ONLY; a. ON THE CEILING OF SLEEPING UNITS WITH PERMANENTLY INSTALLED FUEL-BURNING APPLIANCES. RESIDENTIAL CODE R315.3, BUILDING CODE 420.4.3

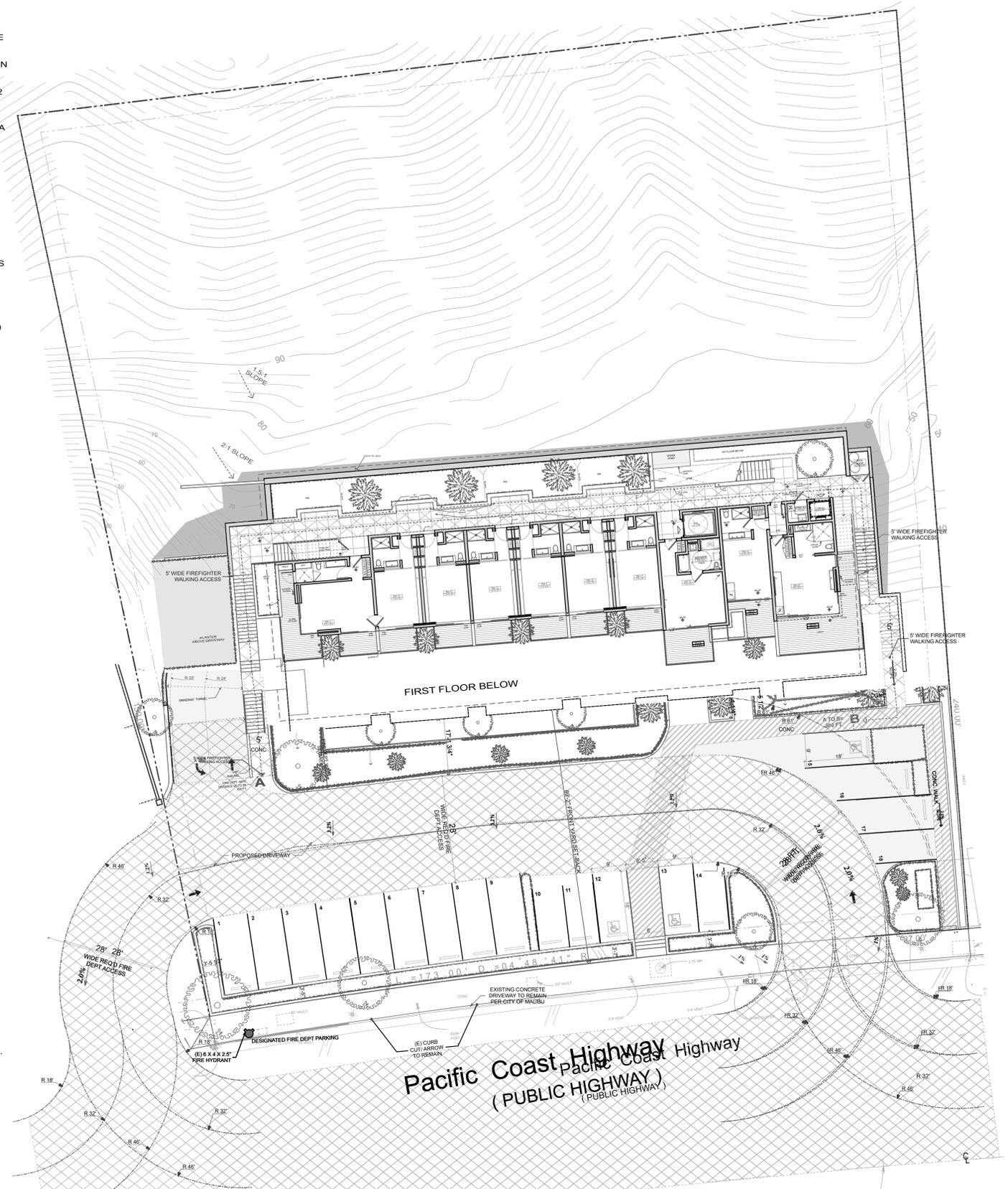


6" THK AC PAVEMENT O/ 4" THK AGGREGATE BASE O/ COMPACTED SUBGRADE

ROAD SECTION DETAIL

SCALE: 1/4" = 1'-0"

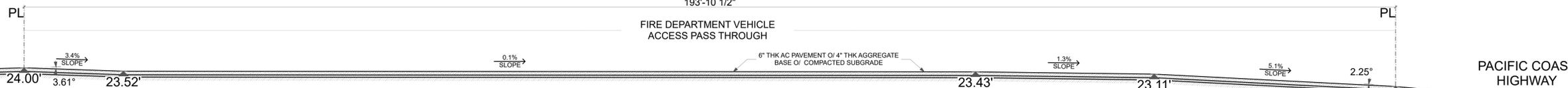
3



PROPOSED FIRE DEPT PATH.

SCALE: 1/16" = 1'-0"

1



ROAD PROFILE

SCALE: 1/8" = 1'-0"

2

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2811 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-464-9965

SHEET TITLE: FIRE DEPARTMENT NOTES
DRAWING NO.: **FD-2**
PLOT DATE: 2/25/20
SCALE:
DRAWN BY:

EXISTING PARKING FOR 22969 PCH MALIBU INN RESTAURANT

EXISTING RESTAURANT 1,935 SQ FT SERVICE AREA, 1 SPACE PER 50 SQ FT SERVICE AREA, PARKING REQUIREMENTS = 39 SPACES.
 EXISTING RETAIL 1,636 SQ. FT. GROSS FLOOR AREA, 1 SPACE FOR 225 SQ FT GFA, PARKING REQUIREMENTS = 8 SPACES.
TOTAL REQUIREMENTS PARKING SPACES FOR 22969 PCH = (39 + 8 SPACES) = 47 SPACES.

EXISTING NON CONFORMING PARKING SPACES PROVIDED AT 22969 PCH = 23 SPACES

TOTAL PARKING SPACE REQUIRED ON ADJACENT PROPERTY = (47 - 24) = 24 SPACES

PROPOSED PARKING AT 22959 PCH:

TOTAL 47 PARKING SPACES WILL BE PROVIDED, FOR THE REQUIRED 47 PARKING SPACES

PARKING REQUIREMENT FOR THE MOTEL @ 22959 PCH: 23 SPACES
 (20 ROOMS 1 PARKING SPACE /ROOM, 20 PARKING SPACES REQ.
 + 3 MOTEL EMPLOYEES, 3 PARKING SPACES REQ.)

CARRY-OVER PARKING SPACE REQUIRED FROM 22969 PCH = (47 - 23) = 24 SPACES
 TOTAL REQUIRED -> 47 SPACES

PROPOSED PARKING:

EXTERIOR PARKING: 11 STANDARD + 4 COMPACT + 3 A.D.A. = 18 PARKING SPACES
 INTERIOR PARKING: 24 STANDARD + 5 COMPACT = 29 PARKING SPACES

TOTAL PROPOSED PARKING = 47 PARKING SPACES

PROPOSED PARKING SPACES ALLOCATION:

EXTERIOR PARKING -> 18 EXTERIOR PARKING SPACES:

ALL 18 PARKING SPACES FOR MOTEL, 3 ADA PARKING SPACES MIGHT BE SHARED WITH THE RESTAURANT AS NEEDED
 NUMBERS OF PARKING SPACES: 11 STANDARD + 4 COMPACT + 3 A.D.A. = 18 PARKING SPACES

INTERIOR PARKING -> 29 INTERIOR SUBTERRANEAN PARKING SPACES:

5 SPACES: (#11, #12, #27, #28, #29) FOR MOTEL ONLY,
 21 SPACES: (#1 TO #7, #13 TO #26) FOR VALET/ RESTAURANT ONLY,
 3 SPACES: (#8 TO #10) FOR SHARING BETWEEN MOTEL & VALET/ RESTAURANT
 NUMBERS OF PARKING SPACES = 24 STANDARD + 5 COMPACT = 29 PARKING SPACES ->

TOTAL PROPOSED PARKING = 47 PARKING SPACES

PERCENTAGE OF COMPACT PARKING:

EXTERIOR PARKING: 4 COMPACT SPACES (# 10, 11, 14, 18)

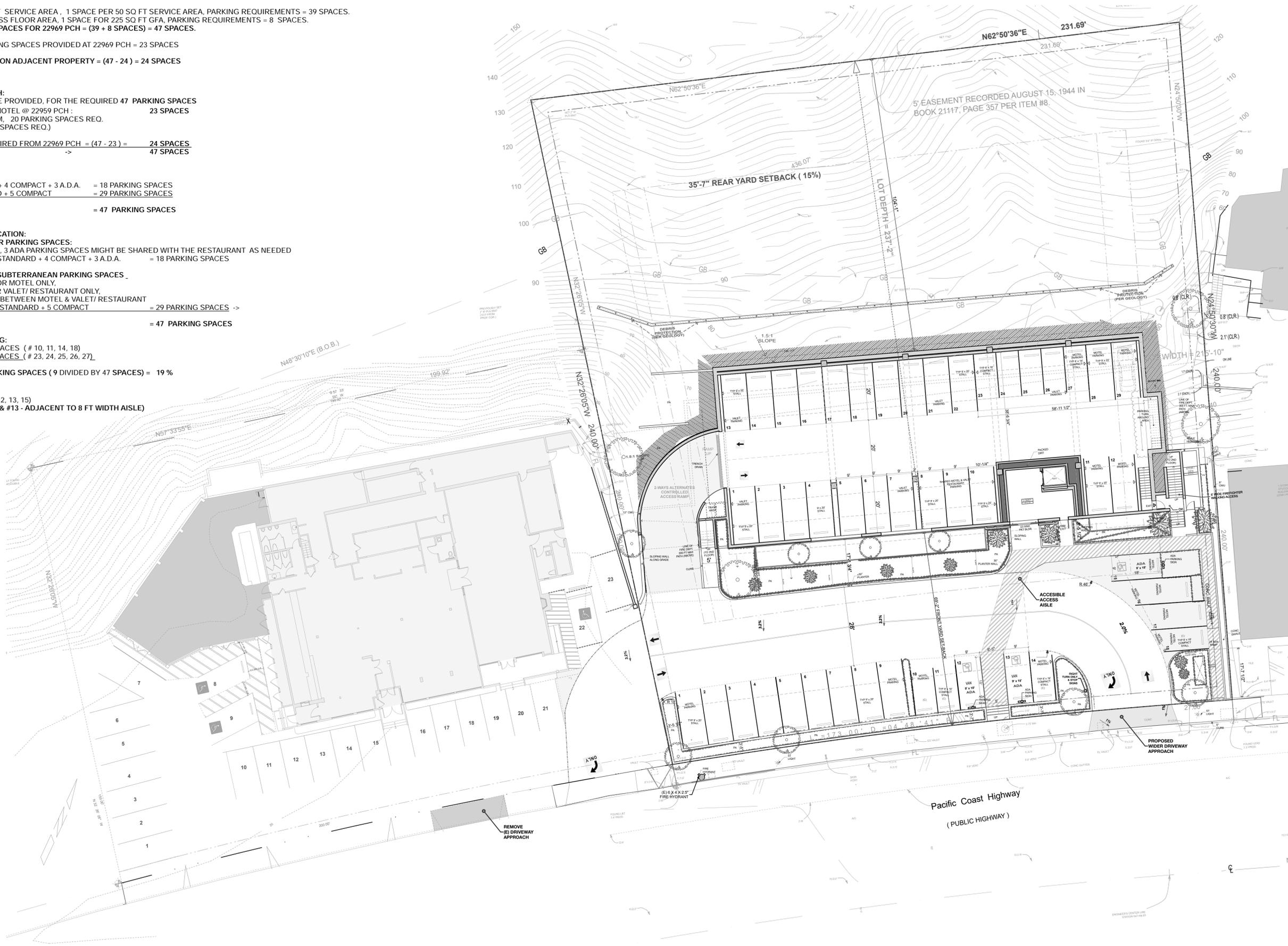
INTERIOR PARKING: 5 COMPACT SPACES (# 23, 24, 25, 26, 27)

TOTAL COMPACT PARKING = 9 PARKING SPACES (9 DIVIDED BY 47 SPACES) = 19%

ADA ACCESSIBLE PARKING:

EXTERIOR PARKING: 3 SPACES (# 12, 13, 15)

VAN ADA ACCESSIBLE 2 SPACES (#12 & #13 - ADJACENT TO 8 FT WIDTH AISLE)



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MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION

MALIBU INN MOTEL
 22959 PACIFIC COAST HIGHWAY

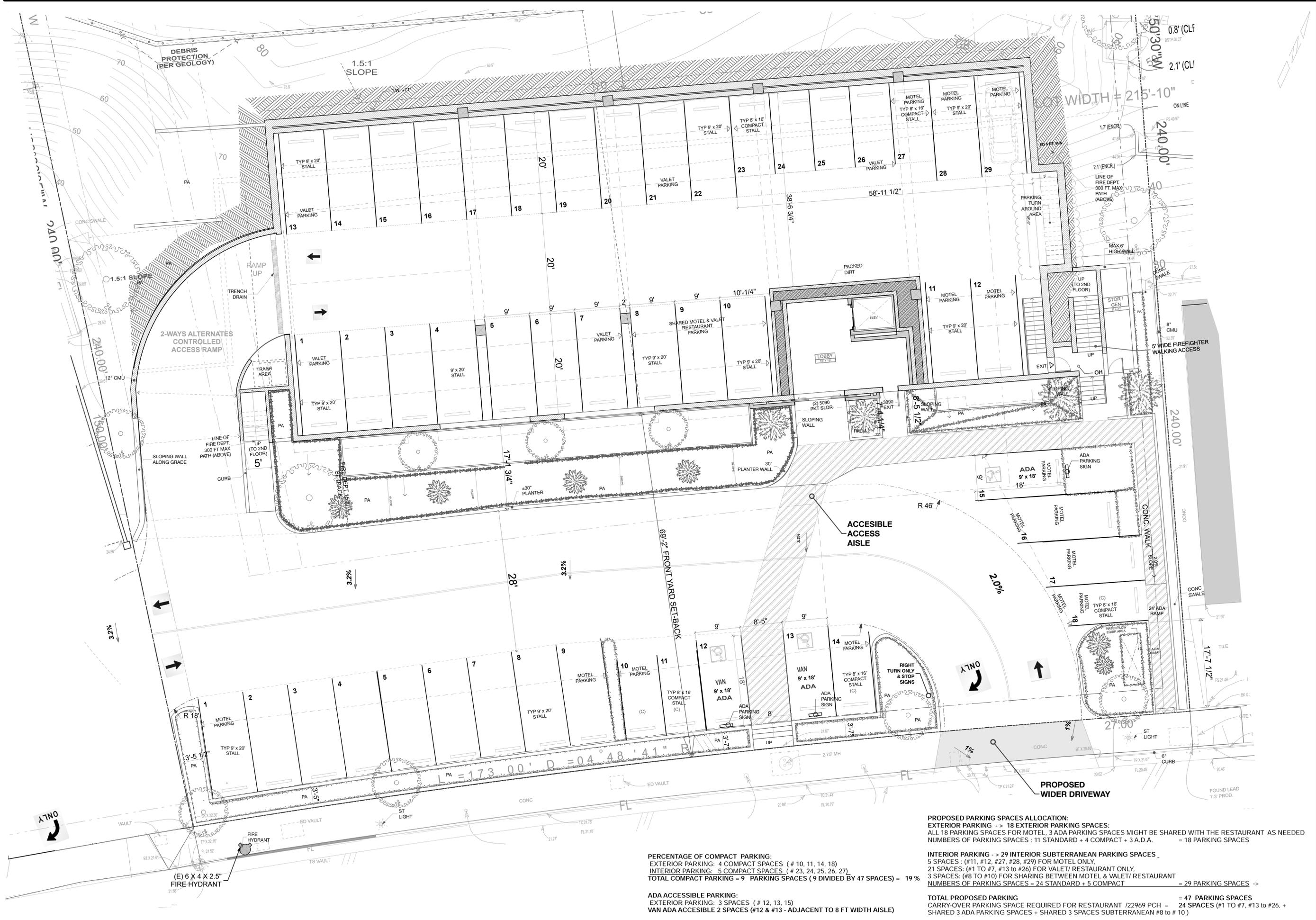
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 MALIBU SUN VALLEY WWW.BUAIA.COM
 24811 PACIFIC COAST HWY. MALIBU, CA 90263 TEL: 310-486-6965

PROPOSED SITE PLAN
 SHEET TITLE
 DRAWING NO. **A-0.1**

PLOT DATE: 5/2/20
 SCALE: 1/16" = 1'-0"
 DRAWN BY:

PROPOSED SITE PLAN
 SCALE: 1/16" = 1'-0"

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PERCENTAGE OF COMPACT PARKING:
 EXTERIOR PARKING: 4 COMPACT SPACES (# 10, 11, 14, 18)
 INTERIOR PARKING: 5 COMPACT SPACES (# 23, 24, 25, 26, 27)
 TOTAL COMPACT PARKING = 9 PARKING SPACES (9 DIVIDED BY 47 SPACES) = 19%

ADA ACCESSIBLE PARKING:
 EXTERIOR PARKING: 3 SPACES (# 12, 13, 15)
 VAN ADA ACCESSIBLE 2 SPACES (#12 & #13 - ADJACENT TO 8 FT WIDTH AISLE)

PROPOSED PARKING SPACES ALLOCATION:
 EXTERIOR PARKING -> 18 EXTERIOR PARKING SPACES:
 ALL 18 PARKING SPACES FOR MOTEL, 3 ADA PARKING SPACES MIGHT BE SHARED WITH THE RESTAURANT AS NEEDED
 NUMBERS OF PARKING SPACES: 11 STANDARD + 4 COMPACT + 3 A.D.A. = 18 PARKING SPACES

INTERIOR PARKING -> 29 INTERIOR SUBTERRANEAN PARKING SPACES
 5 SPACES: (#11, #12, #27, #28, #29) FOR MOTEL ONLY.
 21 SPACES: (#1 TO #7, #13 TO #26) FOR VALET/ RESTAURANT ONLY.
 3 SPACES: (#8 TO #10) FOR SHARING BETWEEN MOTEL & VALET/ RESTAURANT
 NUMBERS OF PARKING SPACES = 24 STANDARD + 5 COMPACT = 29 PARKING SPACES ->

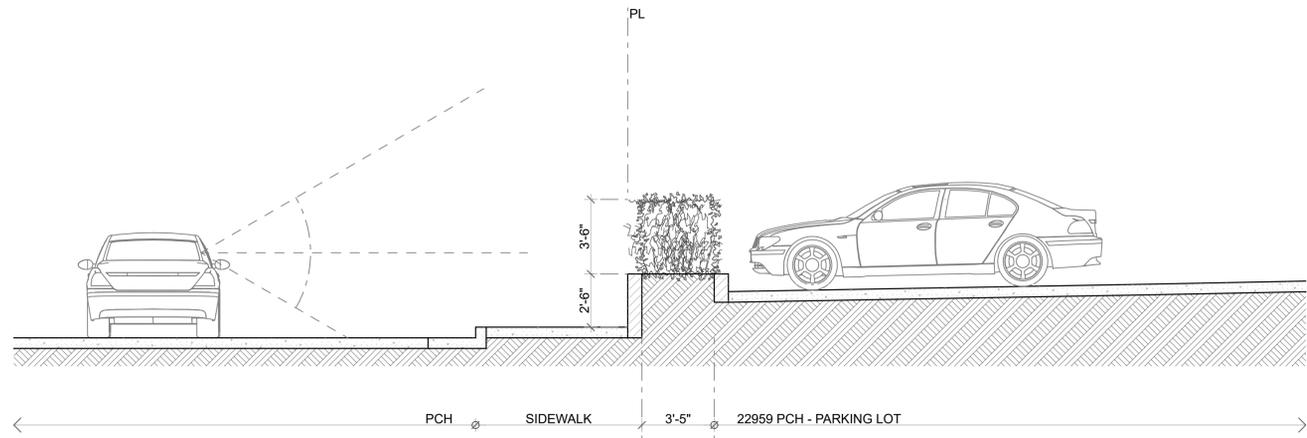
TOTAL PROPOSED PARKING
 CARRY-OVER PARKING SPACE REQUIRED FOR RESTAURANT / 22969 PCH = 47 PARKING SPACES
 SHARED 3 ADA PARKING SPACES + SHARED 3 SPACES SUBTERRANEAN #8 TO # 10) = 24 SPACES (#1 TO #7, #13 TO #26, +

MARK	DATE	DESCRIPTION

MALIBU INN MOTEL
 22959 PACIFIC COAST HIGHWAY

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SHEET TITLE
 PARTIAL LOWER LEVEL SITE PLAN
DRAWING NO.
A-0.2
PLOT DATE 5/2/20
SCALE
DRAWN BY



SITE SECTION - 1

SCALE: 1/4" = 1'-0"



SITE SECTION - 2

SCALE: 1/8" = 1'-0"

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TEL. 310-456-0955
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SHEET TITLE
SITE VIEWS @ PARKING LOT

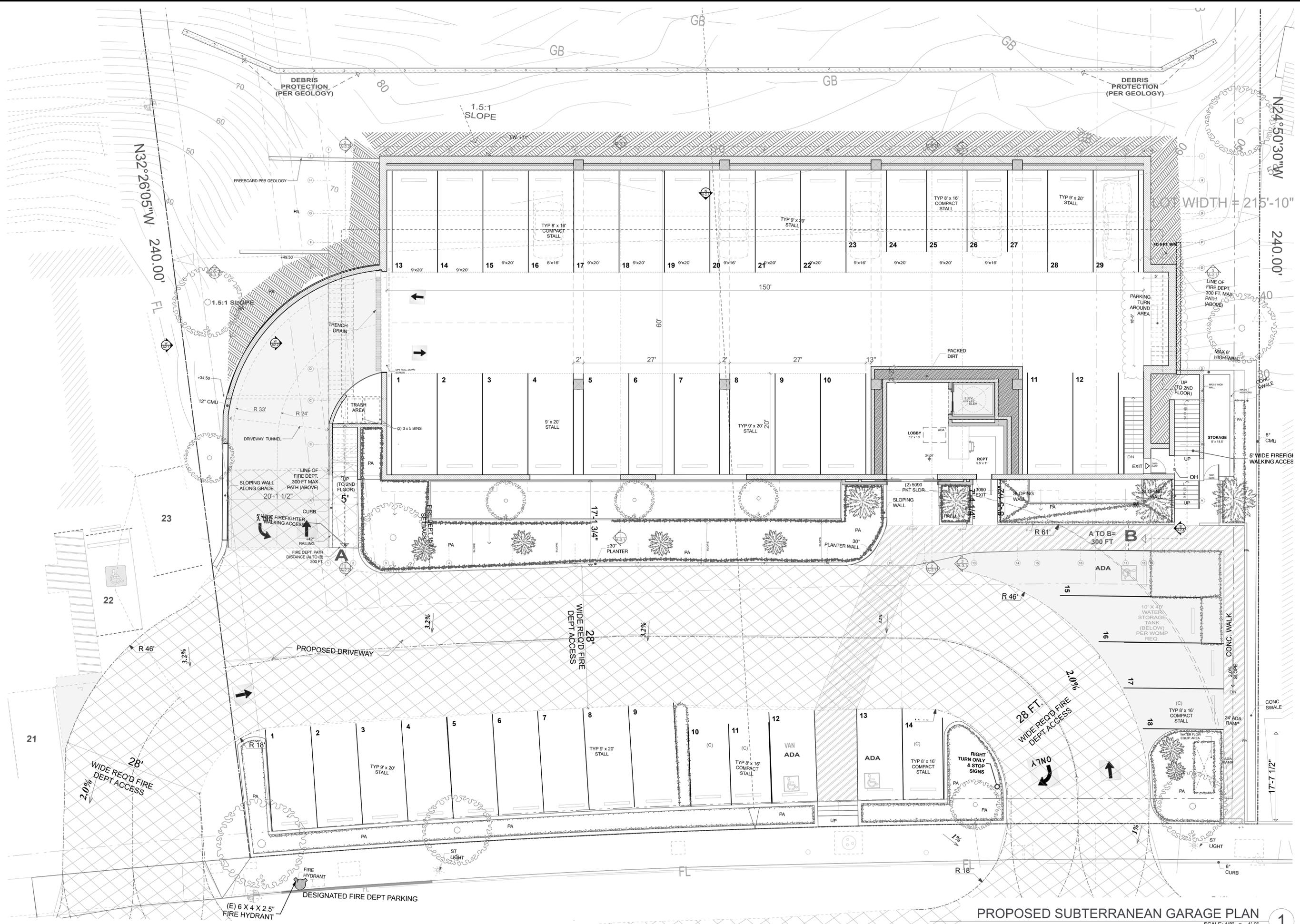
DRAWING NO.

A-0.3

PLOT DATE: 10/10/19

SCALE: AS NOTED

DRAWN BY



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MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION

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PROPOSED GARAGE
 SHEET TITLE
 DRAWING NO. **A-1.1**

PLOT DATE: 3/5/20
 SCALE:
 DRAWN BY:

PROPOSED SUBTERRANEAN GARAGE PLAN
 SCALE: 1/8" = 1'-0" 1

NOTE:

1. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.534 AND BUILDING CODE 705A.4)
2. VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBER AND FLAME THROUGH THE VENTILATION OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH A MINIMUM 1/16TH INCH OPENINGS AND SHALL NOT EXCEED 1/8TH INCH. VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES. (RESIDENTIAL CODE R327.6.1 AND BUILDING CODE 706A.1)

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PROPOSED ROOF LEVEL

SCALE: 1/8" = 1'-0"

PROPOSED UPPER LEVEL

SCALE: 1/8" = 1'-0"

PROPOSED MAIN LEVEL

SCALE: 1/8" = 1'-0"



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SHEET TITLE
PROPOSED FLOOR PLANS
 DRAWING NO.
A-1.2

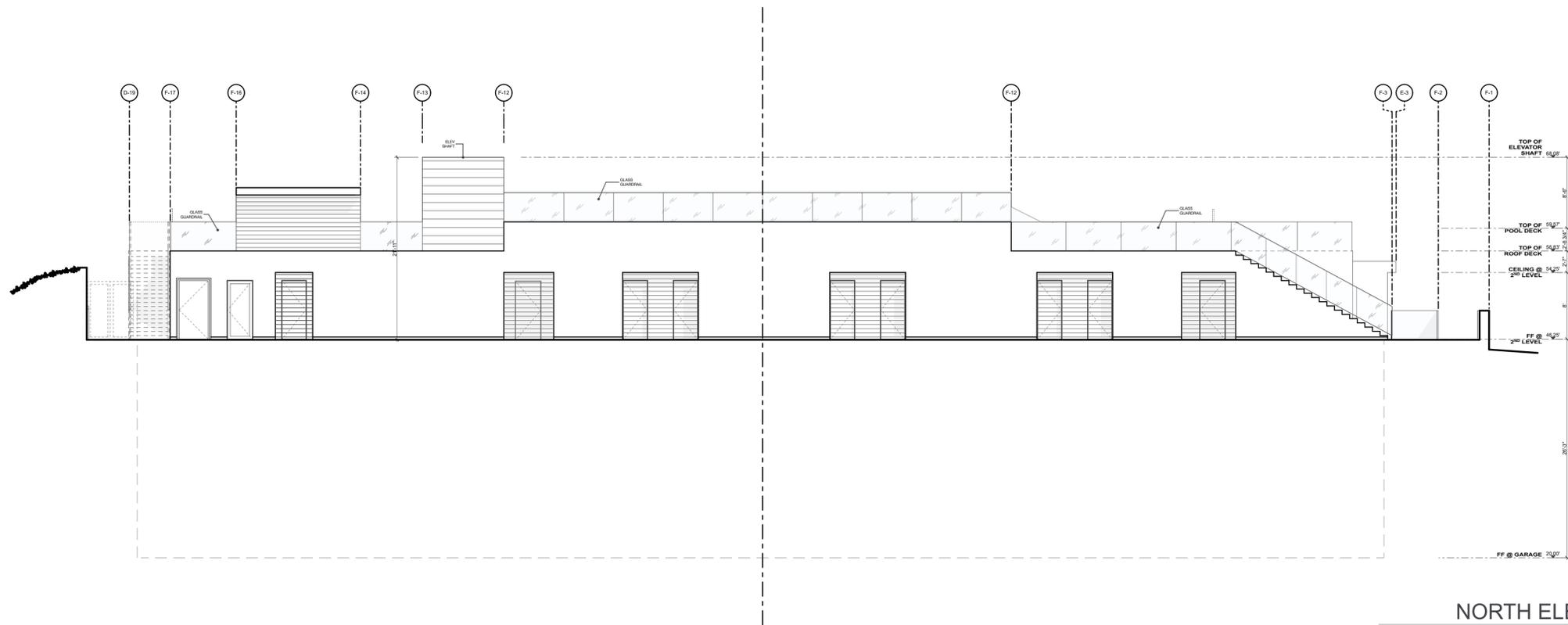
PLOT DATE: 10/10/19
 SCALE:
 DRAWN BY:



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

S



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

N

NOTE:
1. USE OF NON-GLARE GLASS WHERE APPLICABLE

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SHEET TITLE
PROPOSED NORTH AND SOUTH ELEVATIONS
DRAWING NO.
A-2.1

PLOT DATE 5/2/20
SCALE AS NOTED
DRAWN BY



TOP OF ELEVATOR SHAFT 68.08'
 8'-6 1/4"
 TOP OF POOL DECK 59.57'
 2'-8 3/4"
 TOP OF ROOF DECK 56.83'
 2'-7"
 CEILING @ 2ND LEVEL 54.25'
 8'
 FF @ 2ND LEVEL 46.25'
 1'-9"
 CEILING @ 1ST LEVEL 44.50'
 8'
 FF @ 1ST LEVEL 36.50'
 2'
 CEILING @ LOBBY 34.50'
 10'-6"
 FF @ LOBBY 24.00'
 FINISH GRADE 23.96'
 1/2"

MALIBU INN

PARTIAL SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" S



TUNNEL TO GARAGE

PARTIAL SOUTH ELEVATION
 SCALE: 1/4" = 1'-0" S

NOTE:
 1. USE OF NON-GLARE GLASS WHERE APPLICABLE

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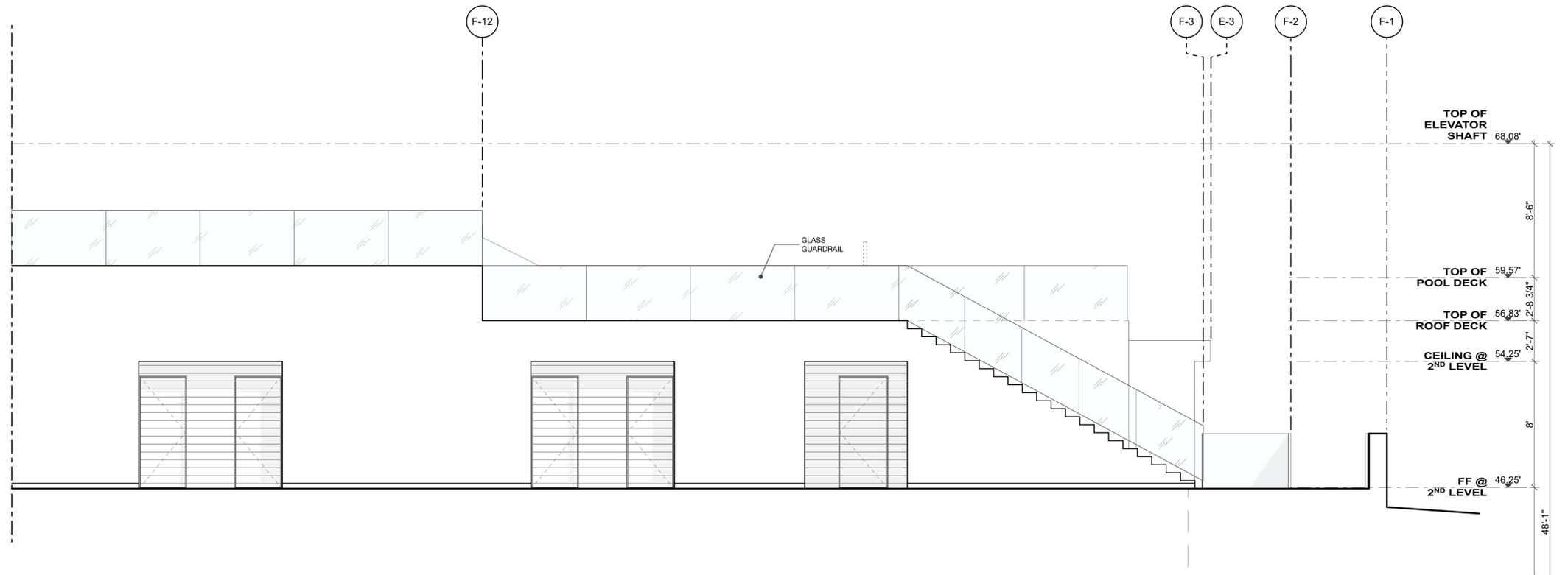
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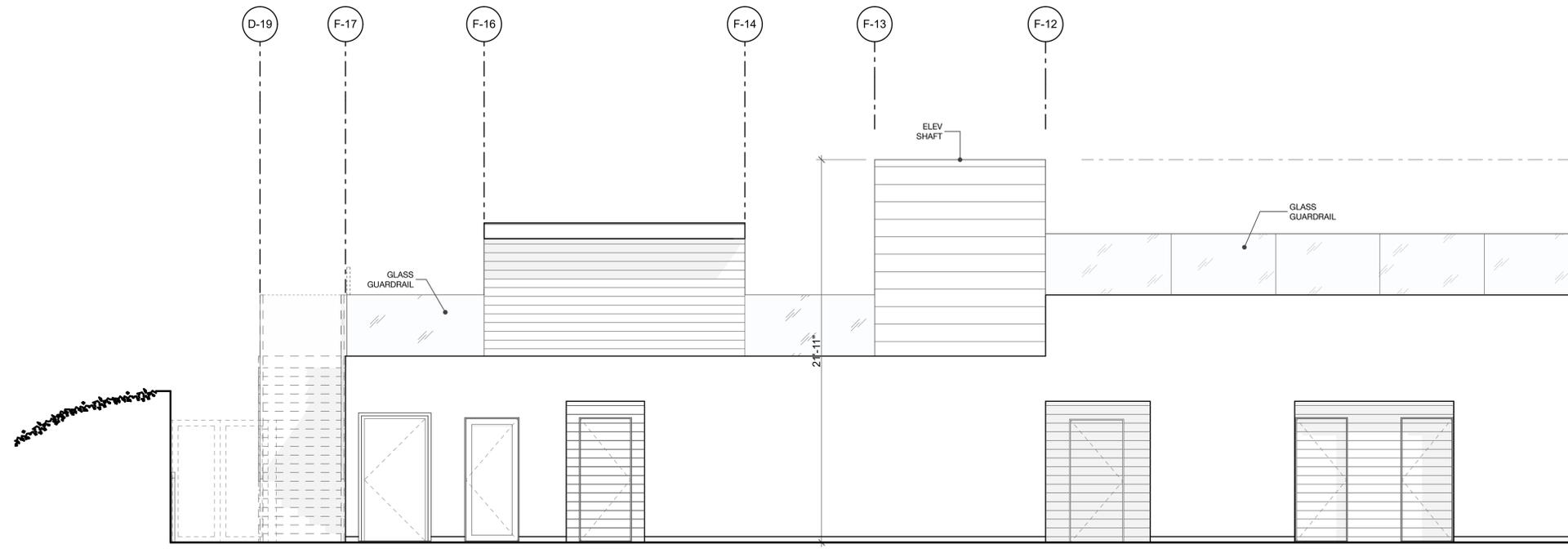
SHEET TITLE
PROPOSED PARTIAL SOUTH ELEVATION
 DRAWING NO.
A-2.2

PLOT DATE 5/2/20
 SCALE AS NOTED
 DRAWN BY



PARTIAL NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PARTIAL NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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SHEET TITLE
PROPOSED PARTIAL NORTH ELEVATION

DRAWING NO.

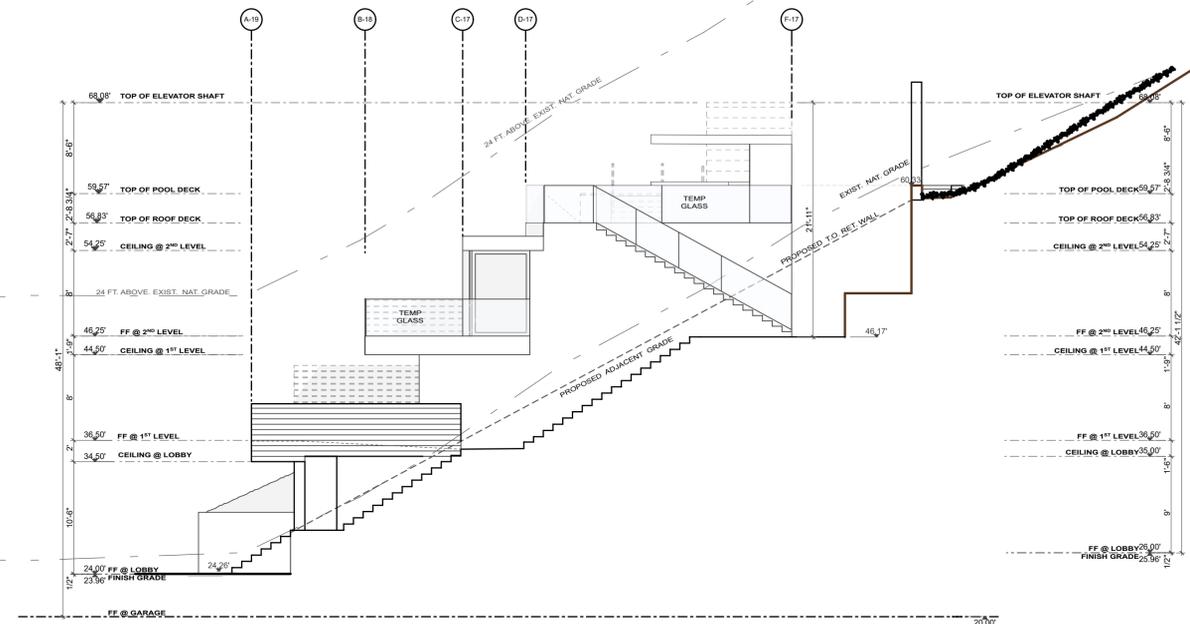
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PLOT DATE: 2/25/20

SCALE: AS NOTED

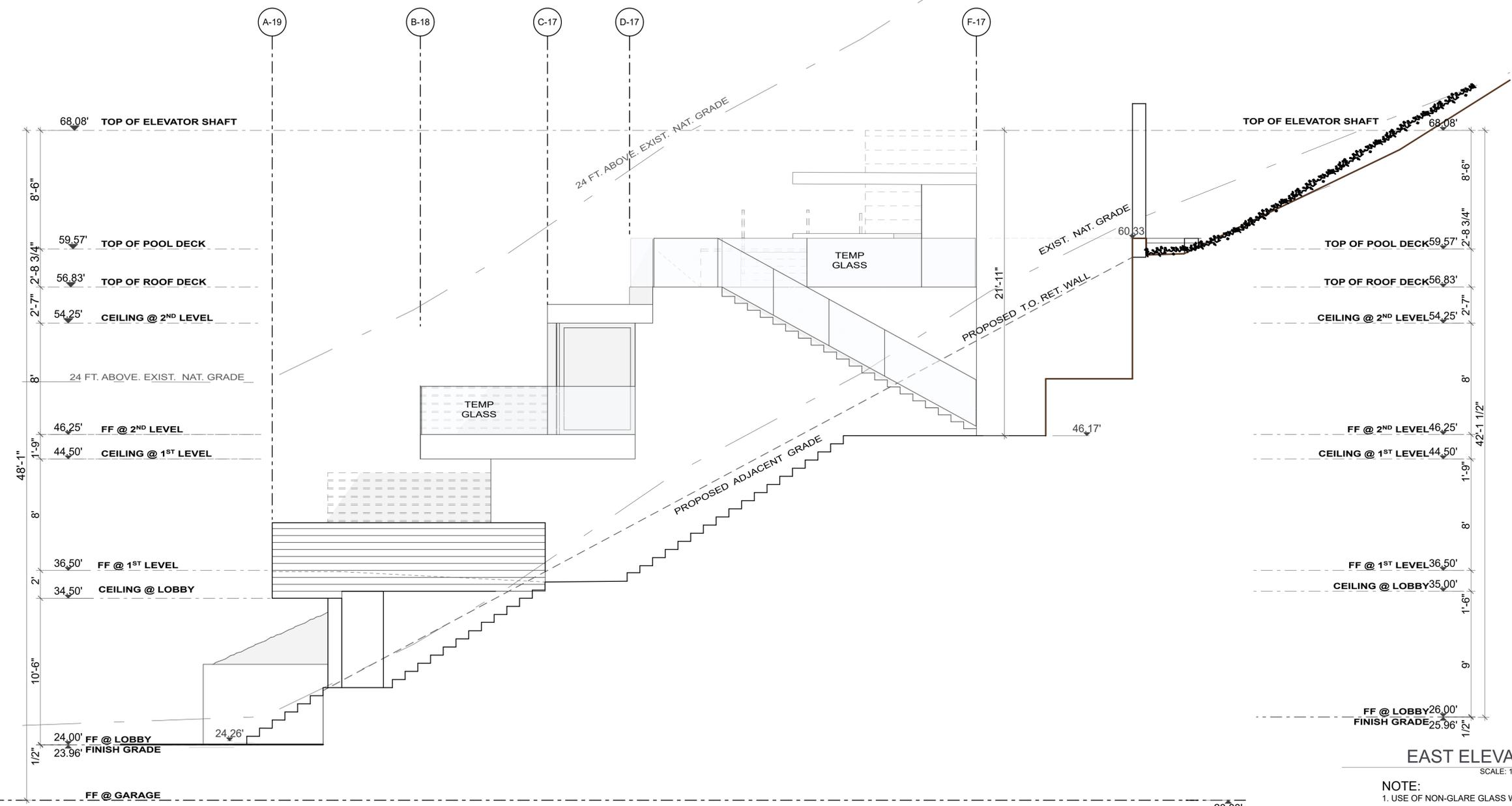
DRAWN BY:

NOTE:
1. USE OF NON-GLARE GLASS WHERE APPLICABLE



EAST ELEVATION
SCALE: 1/8" = 1'-0"

E



EAST ELEVATION
SCALE: 1/4" = 1'-0"

E

NOTE:
1. USE OF NON-GLARE GLASS WHERE APPLICABLE

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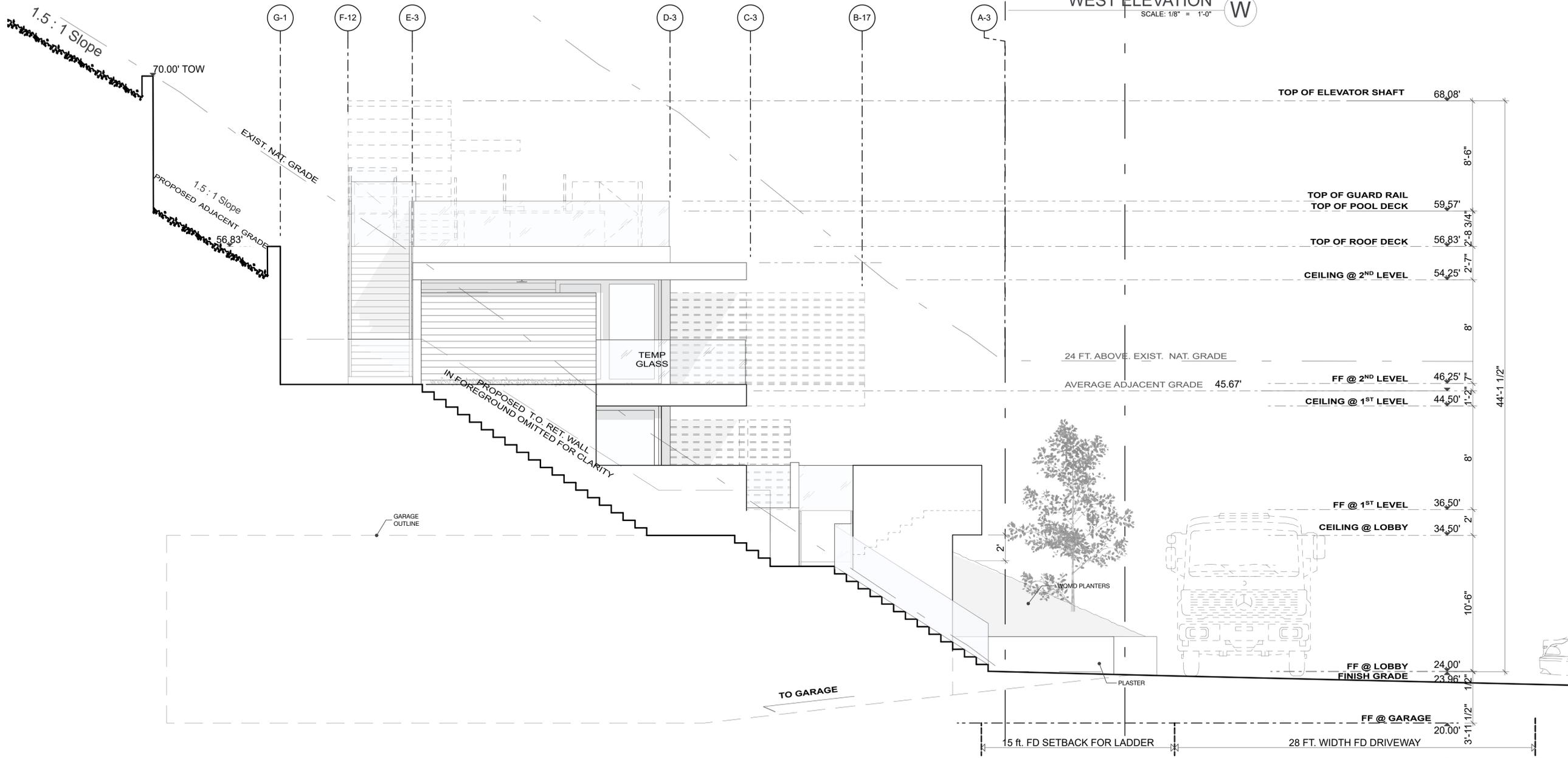
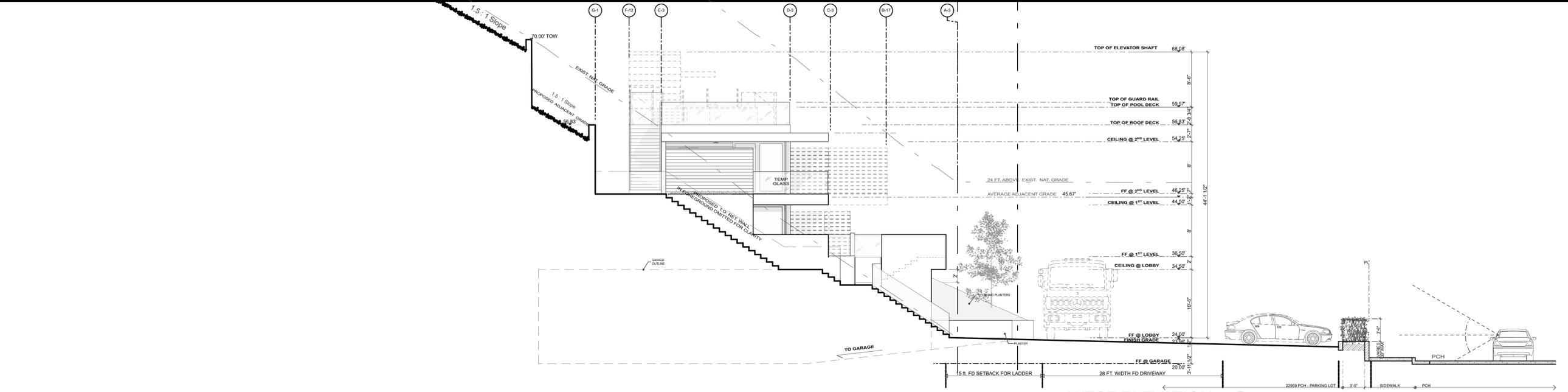
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SHEET TITLE
PROPOSED EAST ELEVATION

DRAWING NO.

A-2.4

PLOT DATE: 2/25/20
SCALE: AS NOTED
DRAWN BY:



NOTE:
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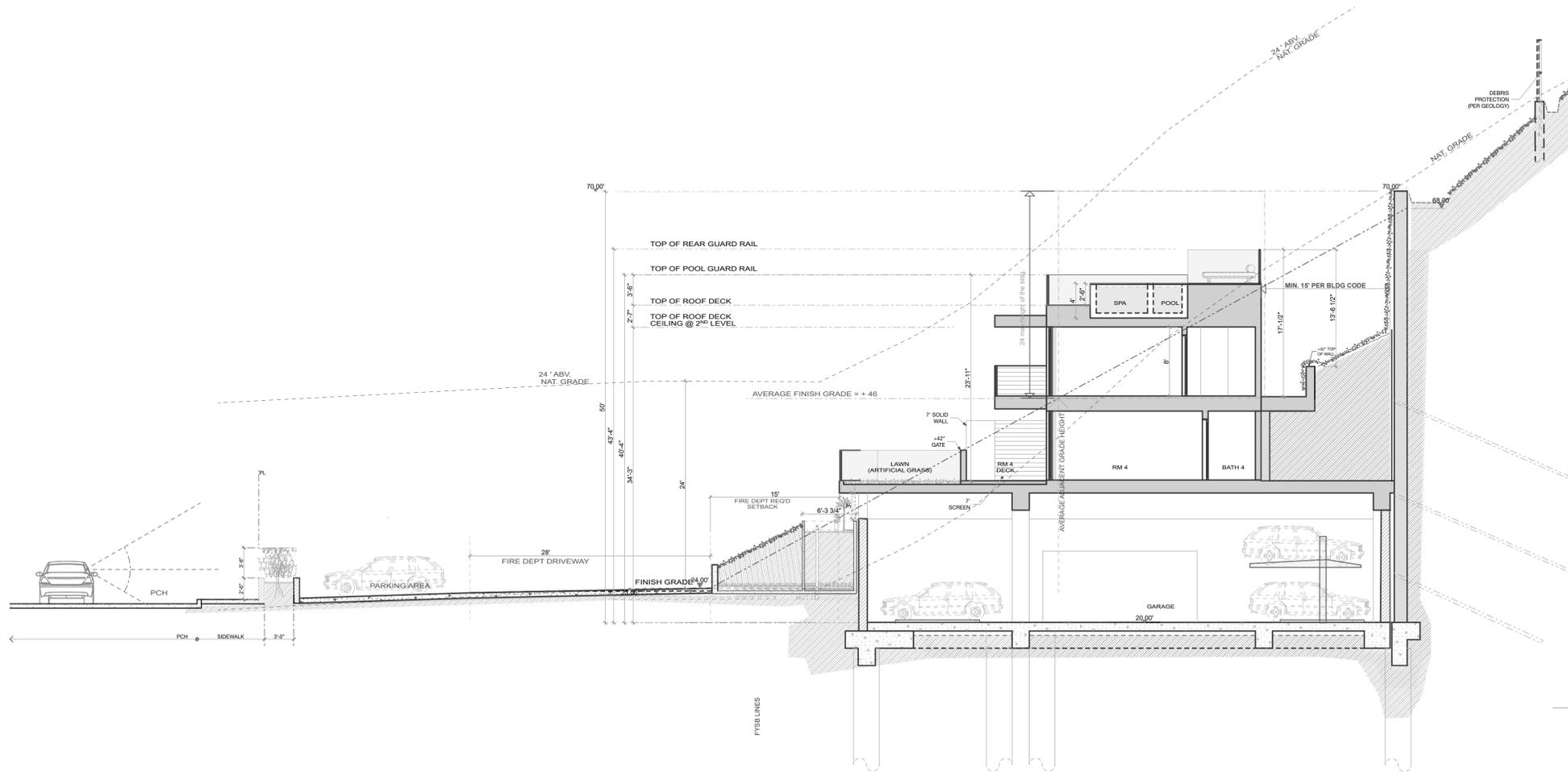
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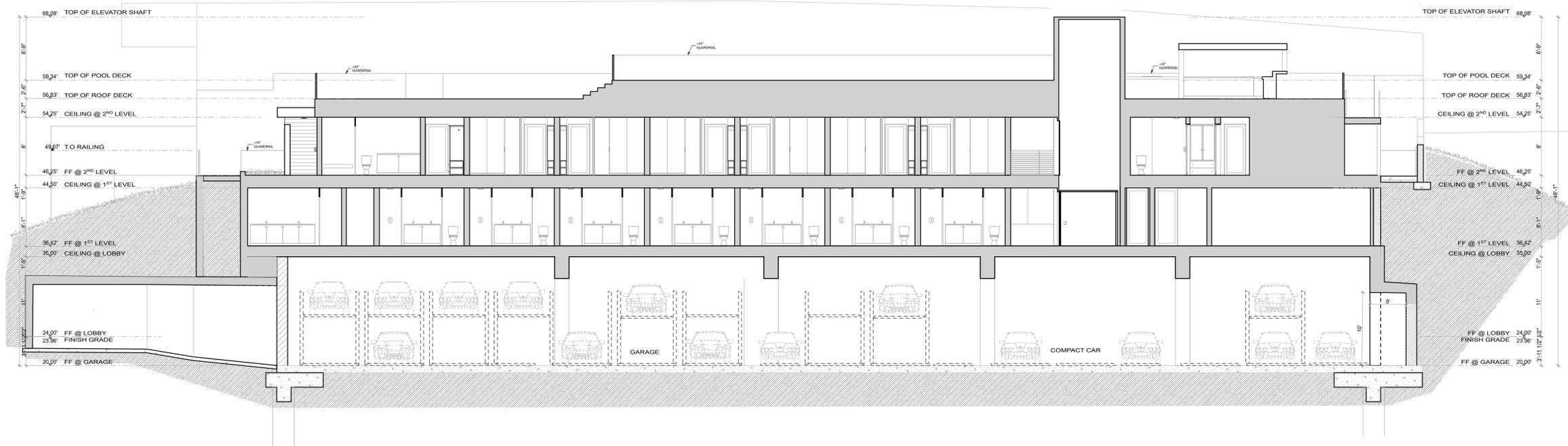
SHEET TITLE
PROPOSED WEST ELEVATION
DRAWING NO.

A-2.5

PLOT DATE: 5/2/20
SCALE: AS NOTED
DRAWN BY:



SECTION A
SCALE: 1/8" = 1'-0" 1



SECTION 2
SCALE: 1/8" = 1'-0" 2

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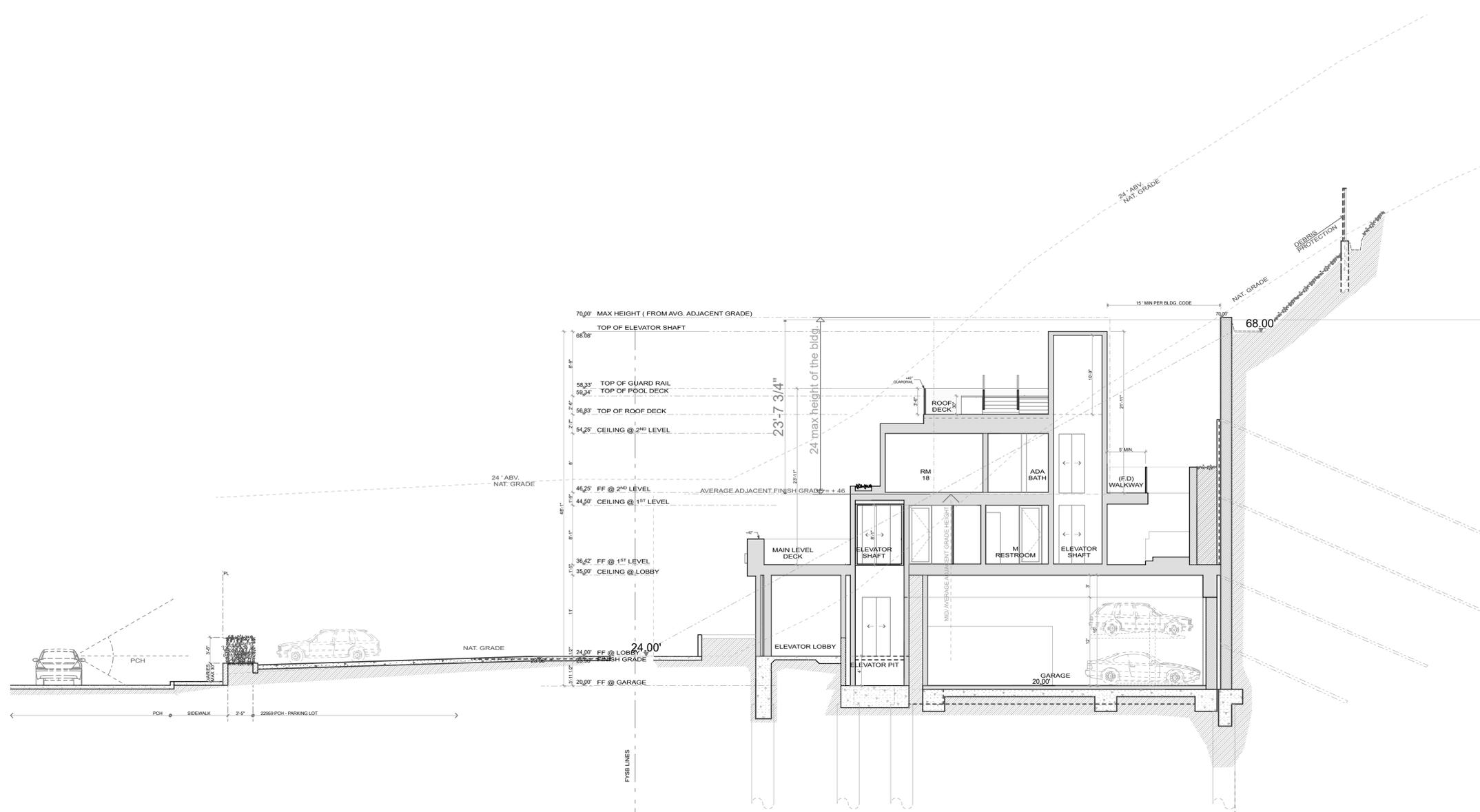
MARK	DATE	DESCRIPTION

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MALIBU SUN VALLEY WWW.BUAIA.COM
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SHEET TITLE
PROPOSED SECTIONS
DRAWING NO.
A-3.1

NOTE:
1. USE OF NON-GLARE GLASS WHERE APPLICABLE



SECTION B
SCALE: 1/8" = 1'-0" 2

NOTE:
1. USE OF NON-GLARE GLASS WHERE APPLICABLE

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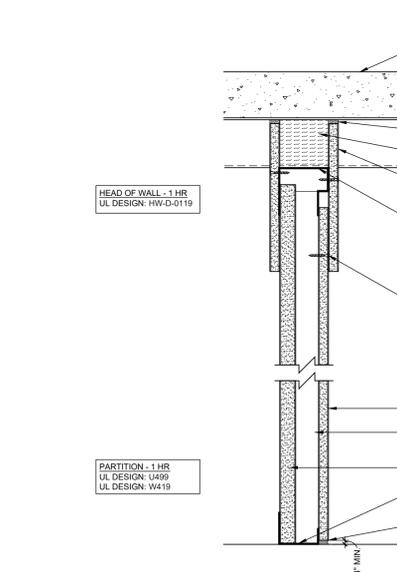
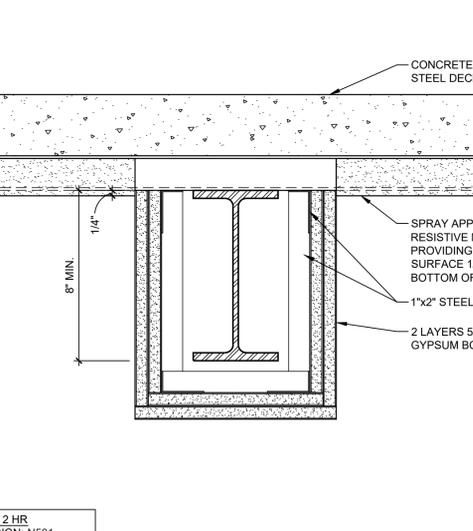
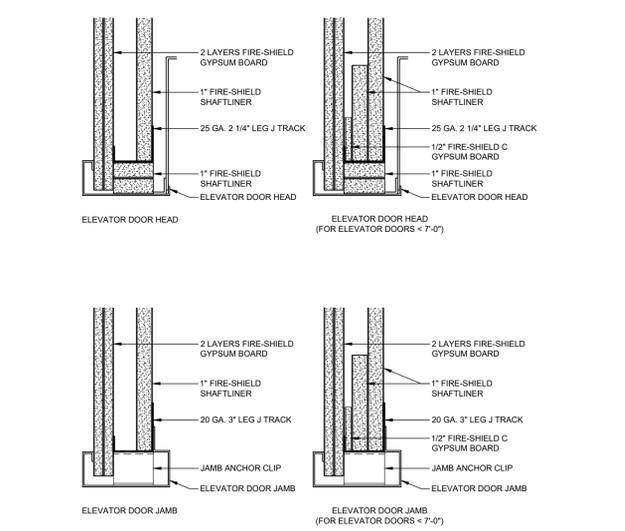
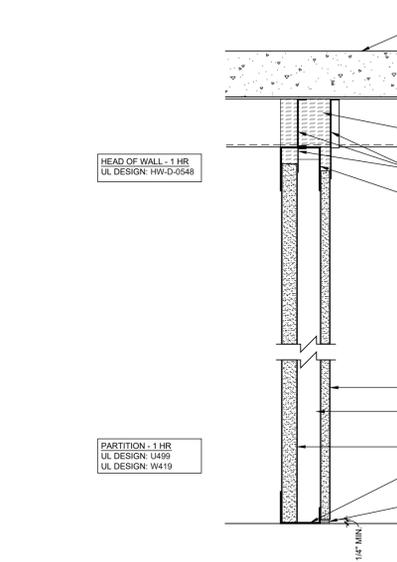
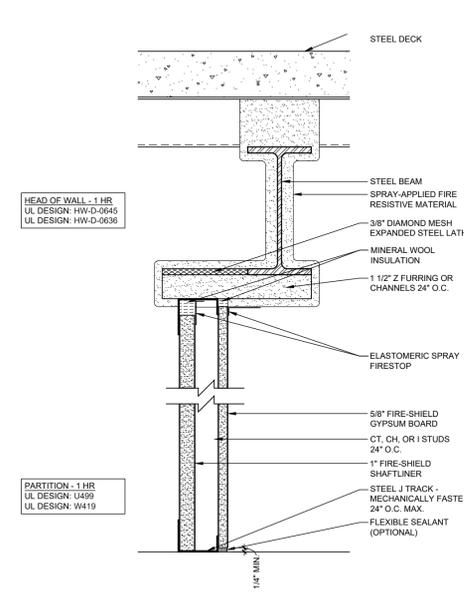
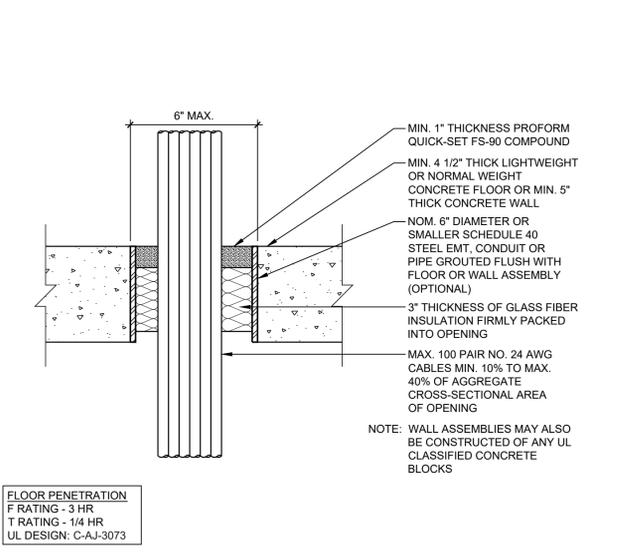
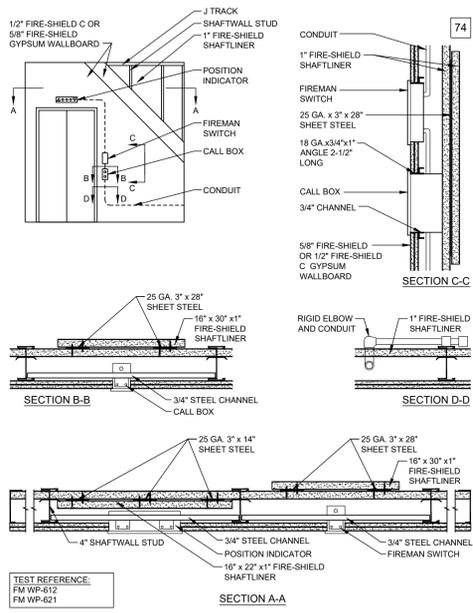
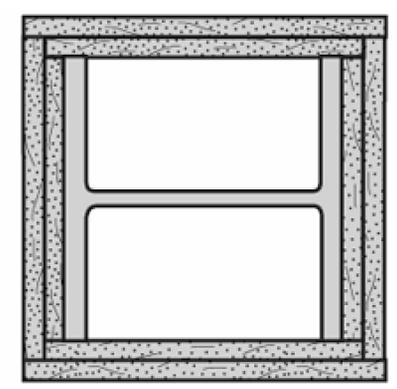
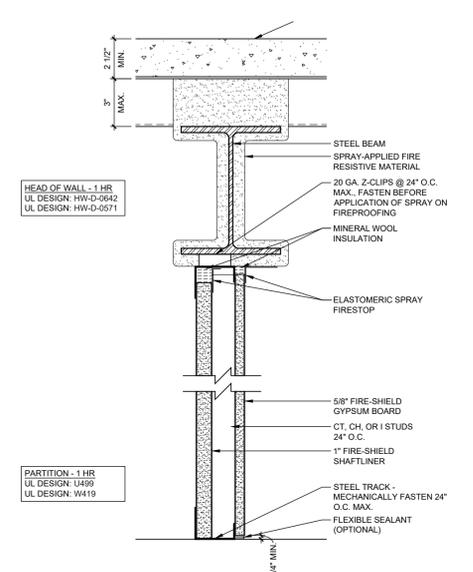
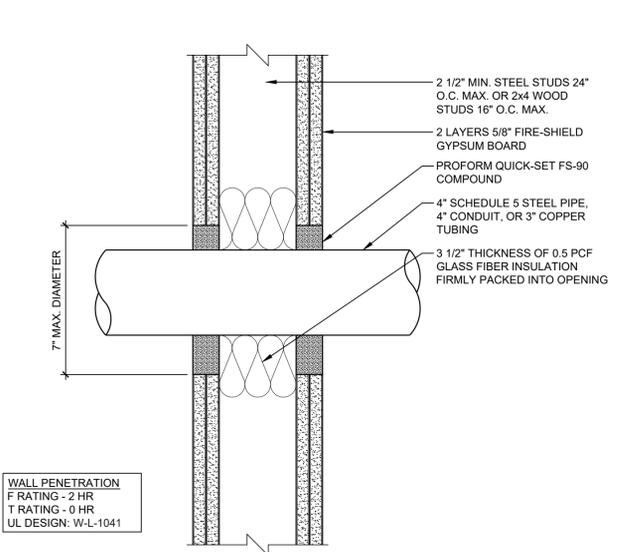
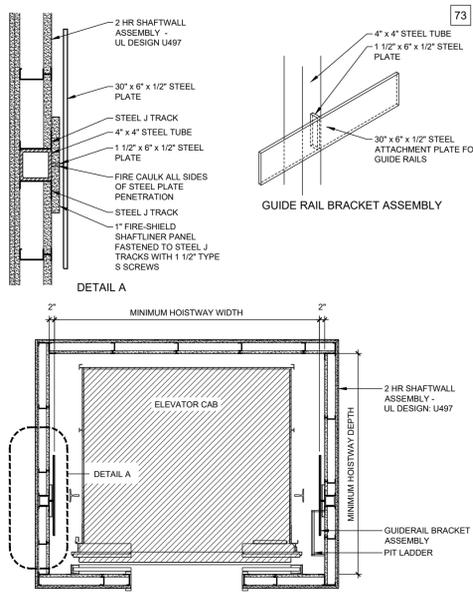
MARK	DATE	DESCRIPTION

MALIBU INN MOTEL
22959 PACIFIC COAST HIGHWAY

BURDGE & Associates
ARCHITECTS
MALIBU SUN VALLEY WWW.BUAIA.COM
2811 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-464-9905

SHEET TITLE
PROPOSED SECTIONS
DRAWING NO.
A-3.2

PLOT DATE: 2/25/20
SCALE
DRAWN BY



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MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION

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22959 PACIFIC COAST HIGHWAY

BURDGE & Associates ARCHITECTS
MALIBU SUN VALLEY
24911 PACIFIC COAST HWY.
MALIBU, CA 90263
TEL. 910-486-9995

ARCHITECTURAL DETAILS

A-5.1

PLOT DATE: 8/14/19
SCALE: AS NOTED
DRAWN BY:

LIGHTING SCHEDULE

- WALL LIGHTS IN CAR PARKING AREA T1 2.5W LED BRICK LIGHT - CORONA CL-369B-AB LAMP L-EDBA- 2.5W 180° WIDE FLOOD OR
- DOWN LIGHTS T2 5W LED ADJUSTABLE DOWN LIGHT FX LUMINAIRE QT-2D-1 LED-BZ LAMP 2700K
- WALL LIGHTS T4 FX LUMINAIRE MO-2D-3 LED- SQ- BZ LAMP 2700K
- PATH LIGHTS T6 FX LUMINAIRE M-PL-1 LED- BZ
- ACCENT LIGHTS T7 ROCKSPACE F113B-NAZ W/ STAKE, MR-16 LAMPS, 35 WATT FLOOD
- WATER FEATURE LIGHTS T8 HINKLEY STEP 1539BS, SOLID BRASS, EXTRA LONG CORD, MR-16 LAMP 20 WATT, 2700K

LIGHTING LEGEND

CONTRACTOR TO UTILIZE MANUFACTURER SUPPLIED CONNECTORS TO CONNECT FIXTURES TO MAINLINE. NO OTHER TYPE OF CONNECTION CAN BE USED WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE DESIGNER TO APPROVE LOCATION OF ALL LIGHTS, TRANSFORMER, CLOCK, ETC., PRIOR TO RUNNING WIRES AND INSTALLING LIGHTS.

TRANSFORMER

T1 KICHLER PROFESSIONAL SERIES SS.
 TOTAL WATTAGE NEEDED FOR SYSTEM TO BE DETERMINED BY LANDSCAPE LIGHTING CONTRACTOR. WHO WILL PROPERLY SIZE THE TRANSFORMER(S). TRANSFORMER(S) LOCATED OUTDOORS SHALL BE MANUFACTURED FOR THAT TYPE OF ENVIRONMENT, AND SHALL BE IN STAINLESS STEEL CABINETS. TRANSFORMER(S) SHALL HAVE A WATTAGE THAT IS 20% GREATER THAN THE WATTAGE LOAD OF THE FIXTURES ON EACH TRANSFORMER TO ALLOW FOR ADDITION OF EXTRA LIGHT FIXTURES BY OWNER IN FUTURE WITHOUT HAVING WATTAGE LIMIT PROBLEMS.

CLOCK

C SHALL BE INTERMATIC TN311C 24HR TIMER (3 ON/OFFCYCLES) MECHANICAL CLOCK MOUNTED AT EYE LEVEL AT LOCATION PER NOTE 'Z'. THERE WILL BE 2 (TWO) CLOCKS, EACH WITH PHOTOCELL OVERRIDE.

WIRING

SHALL BE 10-2 DIRECT BURIAL LOW VOLTAGE WIRE. ALL WIRING SHALL BE MINIMUM OF 12" BELOW SOIL FINISH SURFACE AND MAY BE INSTALLED IN IRRIGATION SYSTEM TRENCHES. IT IS ASSUMED THAT WIRING SLEEVES WERE INSTALLED UNDER PAVING TO ALLOW WIRES TO TRANSITION UNDER PAVING. SEE NOTE 'Z' BELOW.

- T1 — TRANSFORMER #
- A — FIXTURE TYPE
- 4 — FIXTURE QTY.
- WPGFI - DUPLEX GROUND FAULT INTERRUPTER RECEPTACLE FOR LOW VOLTAGE MAGNETIC TRANSFORMER

LIGHTING NOTES :

THE LOCATION OF LIGHTS ARE DIAGRAMMATIC. FINAL LOCATIONS TO BE SET BY ARCHITECT AND / OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

WIRING AND TRANSFORMER INSTALLATION TO BE PROVIDED BY ELECTRICIAN.

ALL LIGHTING SHALL BE FULLY SHIELDED AND DIRECTED DOWNWARD

LUMEN COUNT SHALL NOT EXCEED 850 LUMENS

COLOR TEMPERATURE SHALL NOT EXCEED 3000 KELVIN

UNLESS CONTROLLED BY MOTION SENSORS, OUTDOOR LIGHT SHALL BE EXTINGUISHED BY 11:00 PM OR WHEN PEOPLE ARE LONGER PRESENT IN THE EXTERIOR AREA

THE HINKLEY SPOT LIGHT (1539BS) WILL NOT TRESPASS BEYOND THE WATERLINE OR WILL BE DIRECTED DOWNWARD

LIGHT DETAIL:

FX LUMINAIRE DOWN LIGHT

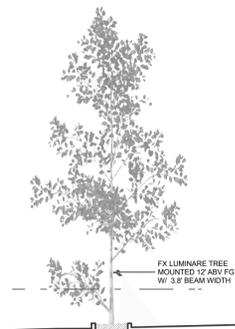
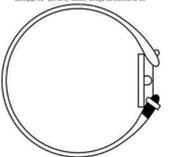


QT 1LED ILLUNIANCE AT A DISTANCE

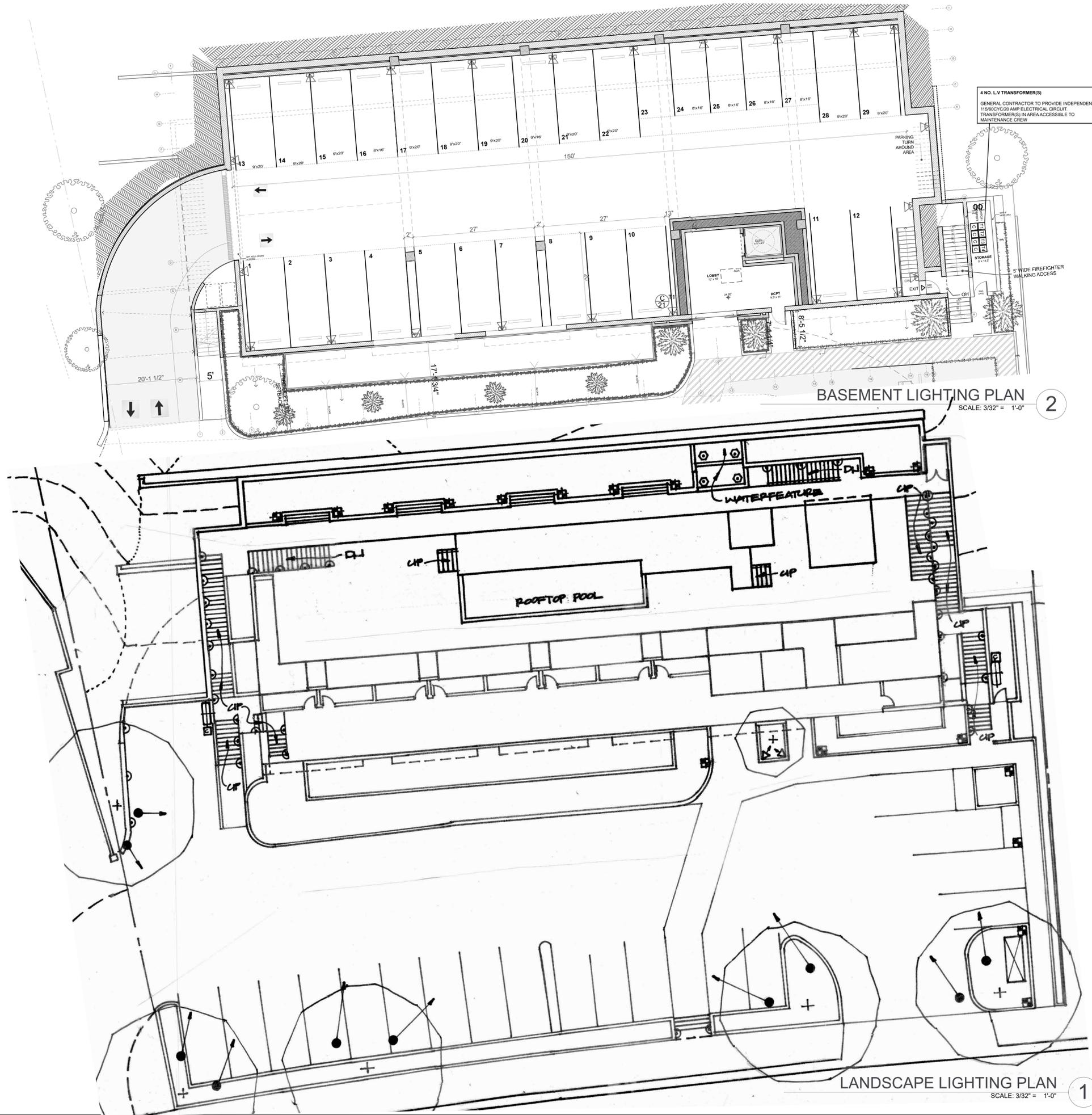
Center Beam FC	Beam Width
30.0 fc	1.3 ft
7.50 fc	2.6 ft
3.33 fc	3.8 ft
1.87 fc	5.1 ft
1.20 fc	6.4 ft
0.83 fc	7.7 ft

TREE MOUNT STRAP

Focus Landscape Lighting FA-24-TREE-18-BLT 12V Aluminum Tree Mount
 Camera 18" (45cm) outdoor rated, adjustable to 18"



FX LUMINAIRE TREE MOUNTED 12 ABV FG W/ 3.8' BEAM WIDTH



BASEMENT LIGHTING PLAN

SCALE: 3/32" = 1'-0"

2

LANDSCAPE LIGHTING PLAN

SCALE: 3/32" = 1'-0"

1

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4 NO. LV TRANSFORMER(S)
 GENERAL CONTRACTOR TO PROVIDE INDEPENDENT 110/000CYC20 AMP ELECTRICAL CIRCUIT TRANSFORMER(S) IN AREA ACCESSIBLE TO MAINTENANCE CREW

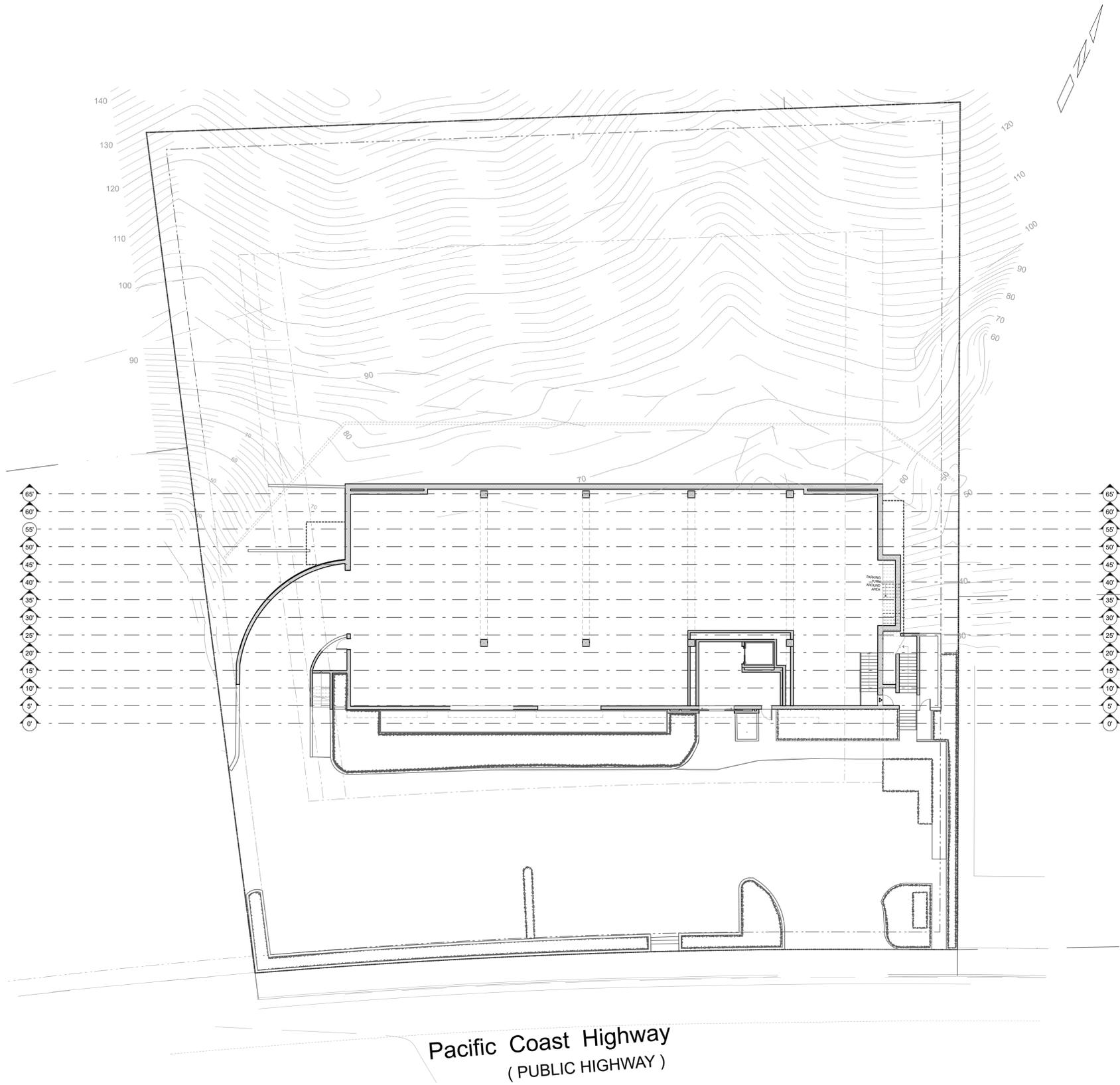
MARK	DATE	DESCRIPTION

MALIBU INN MOTEL
 22959 PACIFIC COAST HIGHWAY

BURDGE & Associates ARCHITECTS
 MALIBU SUN VALLEY WWW.BUAIA.COM
 2411 PACIFIC COAST HWY. MALIBU, CA 90263 TEL. 310-456-0965

SHEET TITLE
LIGHTING PLAN
 DRAWING NO.
A-6.1

PLOT DATE 5/2/20
 SCALE
 DRAWN BY



Pacific Coast Highway
(PUBLIC HIGHWAY)

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MARK	DATE	DESCRIPTION

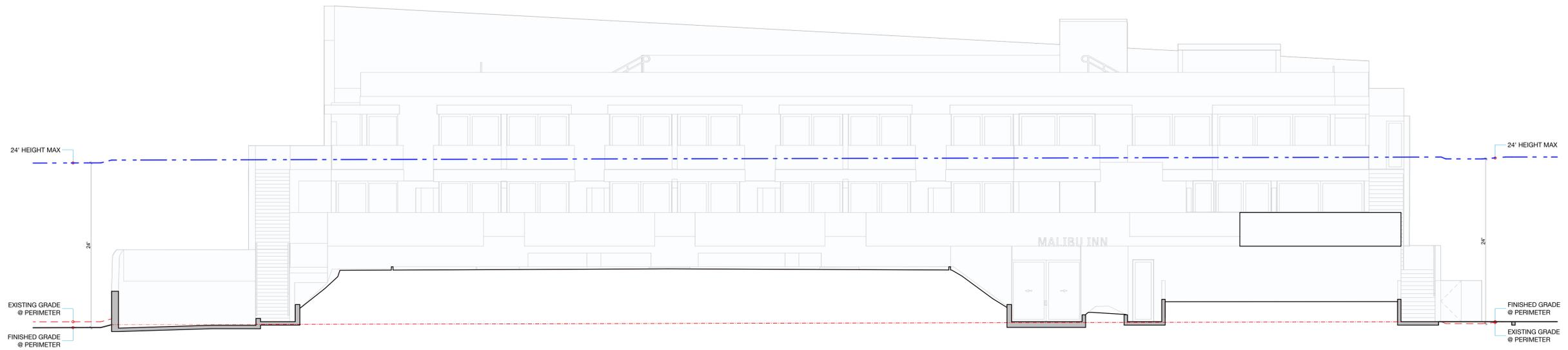
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ARCHITECTS
MALIBU SUN VALLEY
24811 PACIFIC COAST HWY.
MALIBU, CA 90265
TEL. 310-456-0955
WWW.BUAIA.COM

SHEET TITLE
HEIGHT EXHIBIT KEYMAP

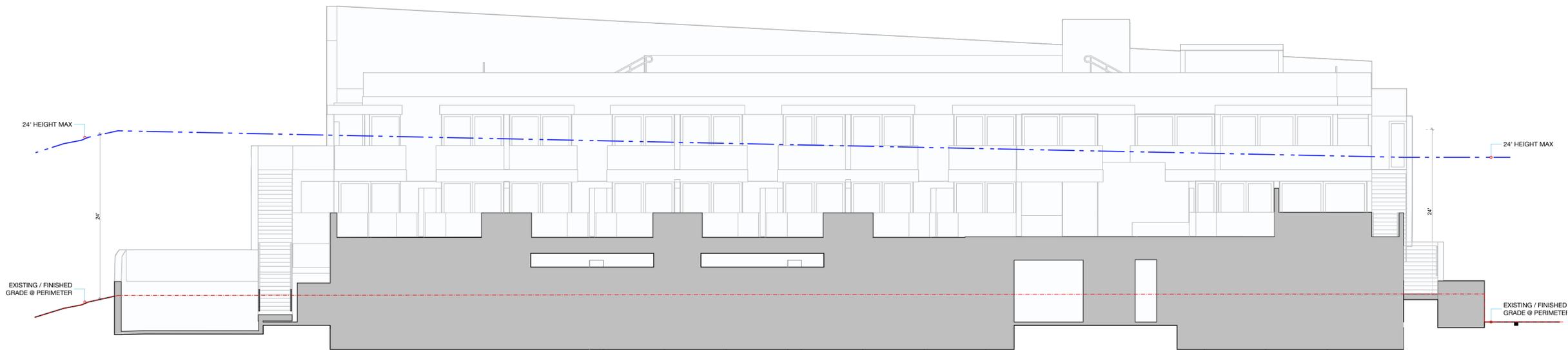
DRAWING NO.
A-8.1

PLOT DATE 3/5/20
SCALE 1/16" = 1'-0"
DRAWN BY



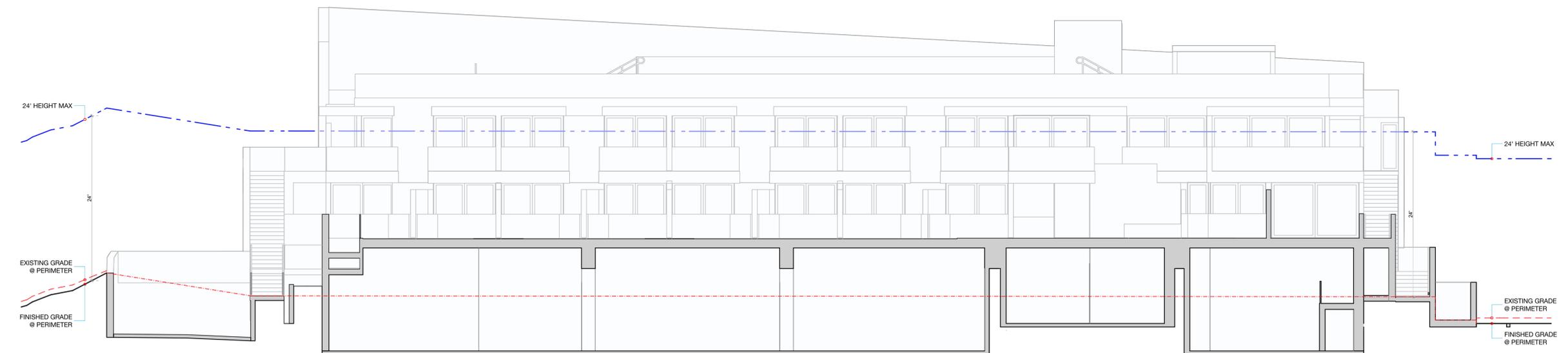
SECTION CUT AT - 0' INTERVAL

SCALE: 1/8" = 1'-0"



SECTION CUT AT - 5' INTERVAL

SCALE: 1/8" = 1'-0"



SECTION CUT AT - 10' INTERVAL

SCALE: 1/8" = 1'-0"

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MARK	DATE	DESCRIPTION

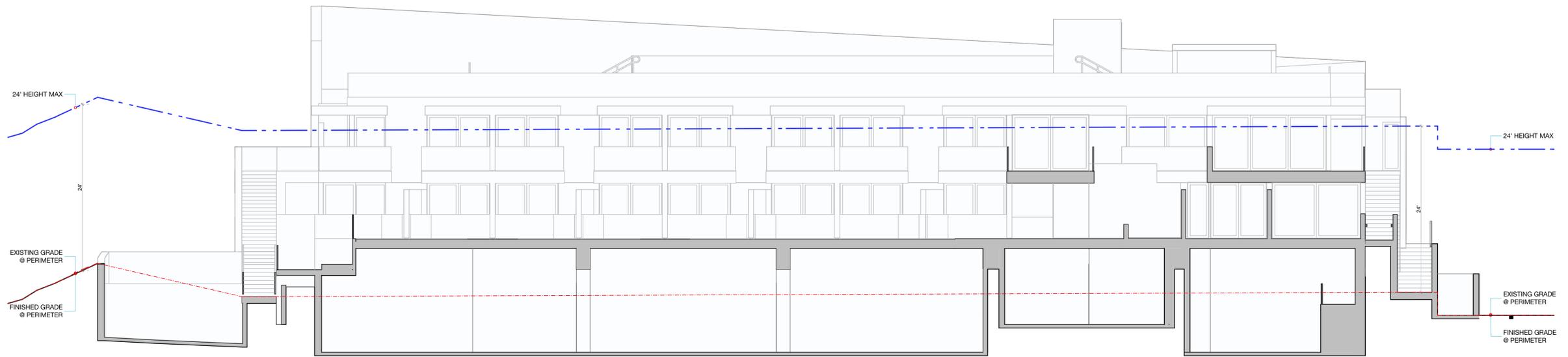
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ARCHITECTS
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2411 PACIFIC COAST HWY. MALIBU, CA 90265 TEL. 310-456-6965

SHEET TITLE
HEIGHT EXHIBIT

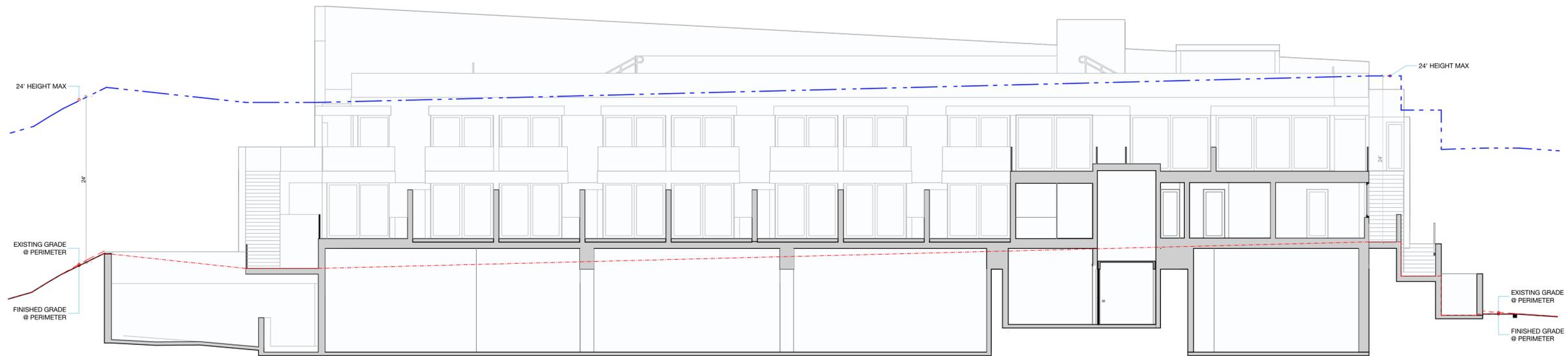
DRAWING NO.
A-8.2

PLOT DATE: 3/5/20
SCALE: AS NOTED
DRAWN BY:



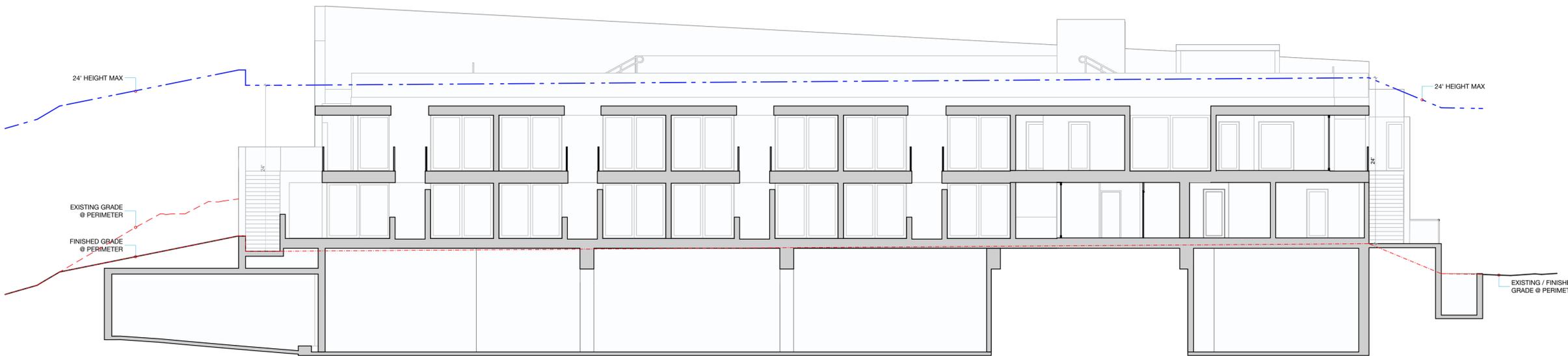
SECTION CUT AT - 15' INTERVAL

SCALE: 1/8" = 1'-0"



SECTION CUT AT - 20' INTERVAL

SCALE: 1/8" = 1'-0"



SECTION CUT AT - 25' INTERVAL

SCALE: 1/8" = 1'-0"

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WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB. SITE DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF ANY WORK.

MARK	DATE	DESCRIPTION

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SHEET TITLE
HEIGHT EXHIBIT

DRAWING NO.

A-8.3

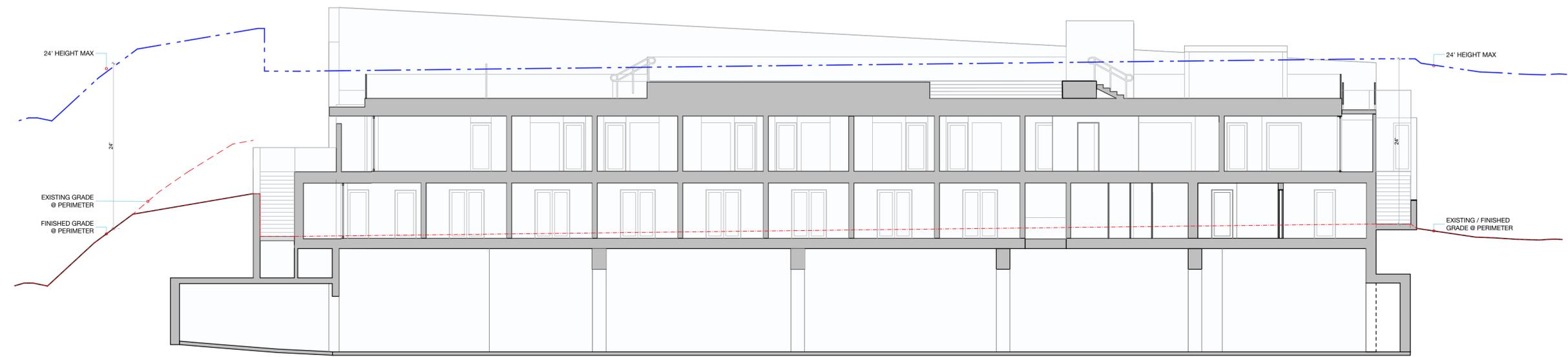
PLOT DATE 3/5/20

SCALE AS NOTED

DRAWN BY



SECTION CUT AT - 30' INTERVAL
SCALE: 1/8" = 1'-0"



SECTION CUT AT - 35' INTERVAL
SCALE: 1/8" = 1'-0"



SECTION CUT AT - 40' INTERVAL
SCALE: 1/8" = 1'-0"

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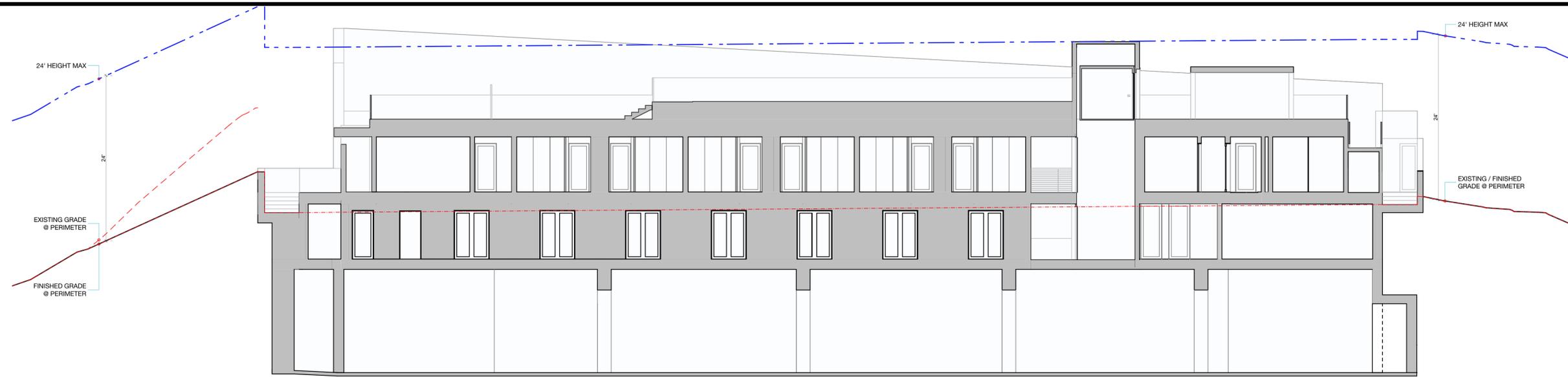
MARK	DATE	DESCRIPTION

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2411 PACIFIC COAST HWY. MALIBU, CA 90265 TEL. 310-456-9955

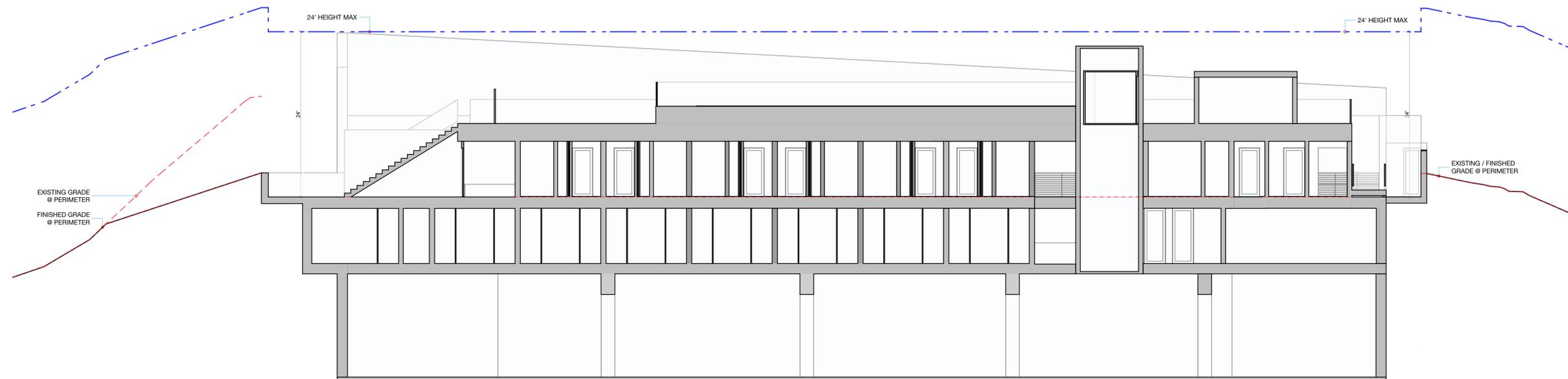
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HEIGHT EXHIBIT
DRAWING NO.
A-8.4

PLOT DATE: 3/5/20
SCALE: AS NOTED
DRAWN BY:



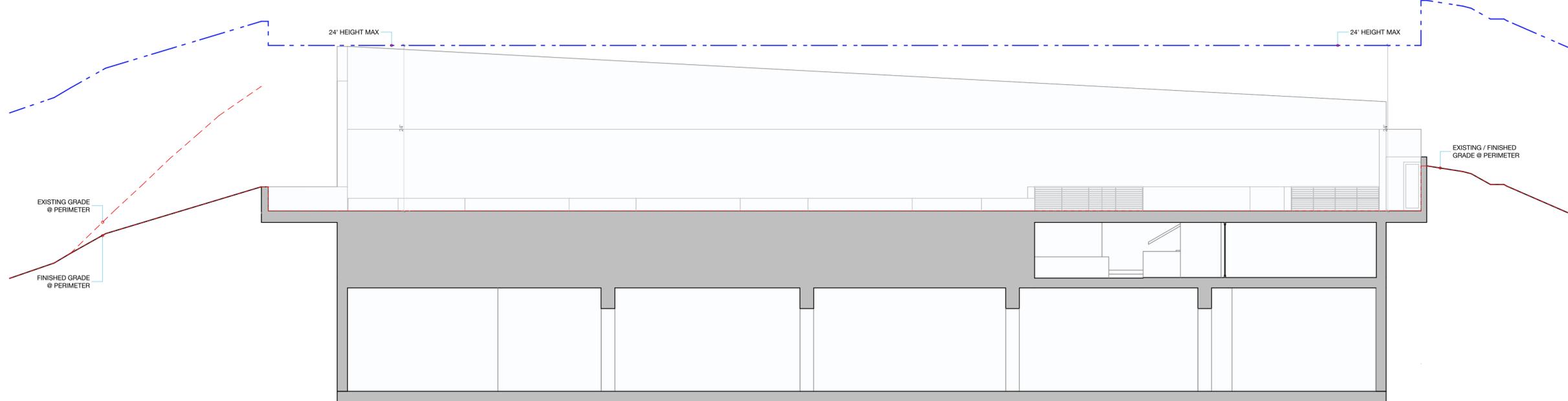
SECTION CUT AT - 45' INTERVAL

SCALE: 1/8" = 1'-0"



SECTION CUT AT - 50' INTERVAL

SCALE: 1/8" = 1'-0"



SECTION CUT AT - 55' INTERVAL

SCALE: 1/8" = 1'-0"

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MARK	DATE	DESCRIPTION

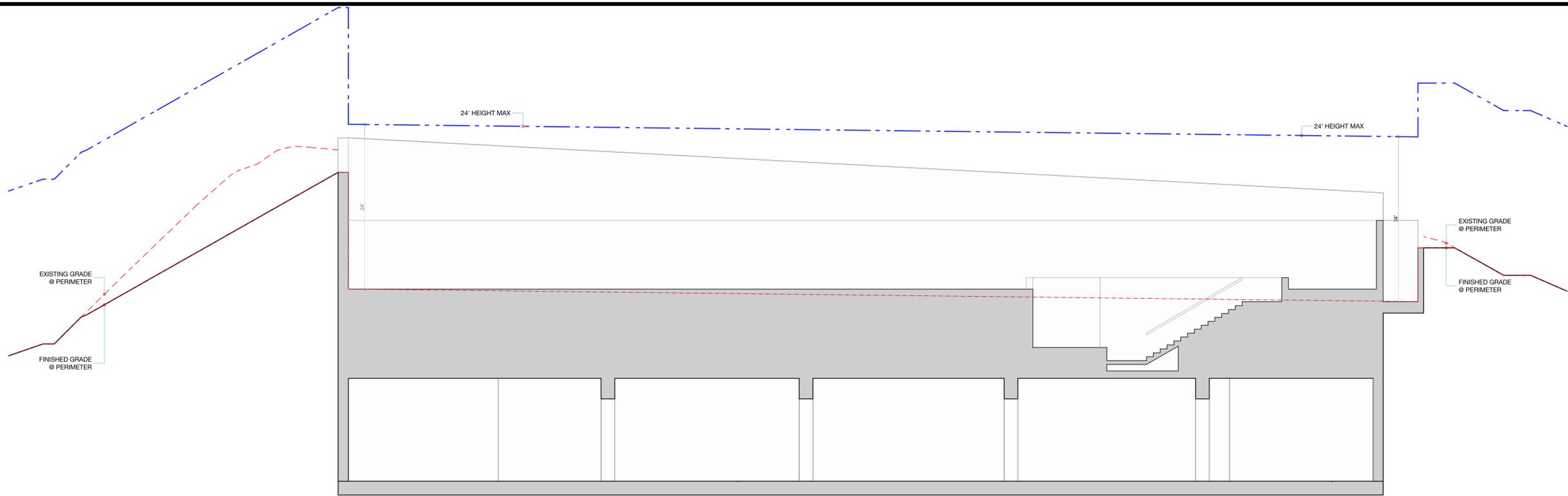
MALIBU INN MOTEL
22959 PACIFIC COAST HIGHWAY

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MALIBU SUN VALLEY WWW.BUAIA.COM
24811 PACIFIC COAST HWY. MALIBU, CA 90263 TEL. 310-456-9955

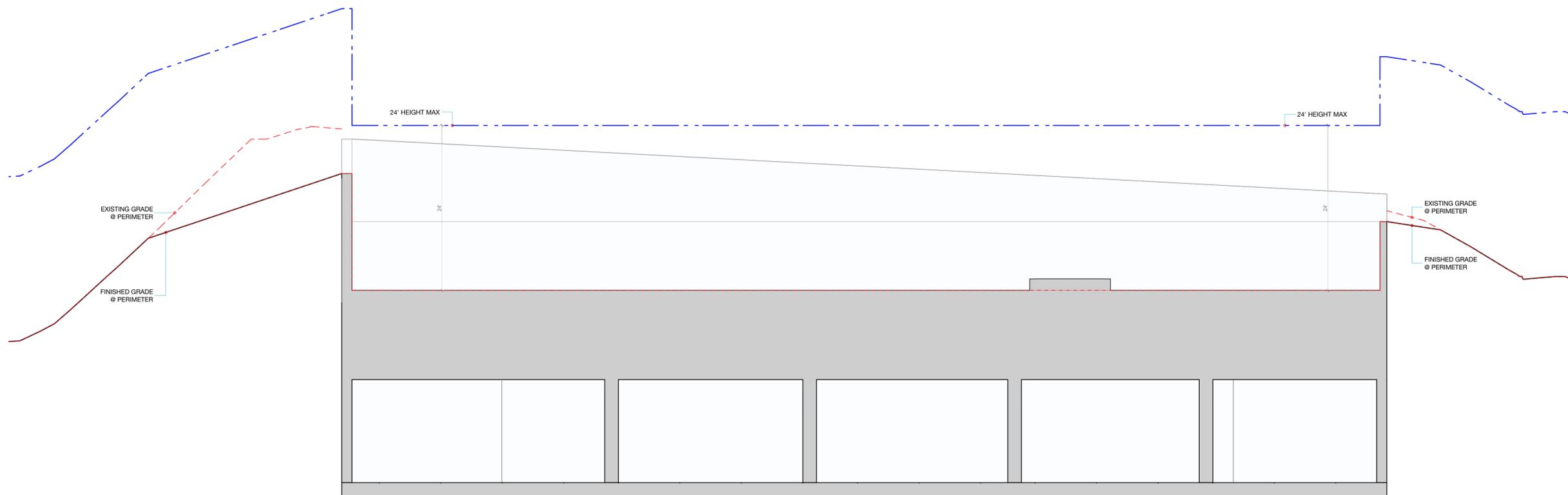
SHEET TITLE
HEIGHT EXHIBIT

DRAWING NO.
A-8.5

PLOT DATE: 3/5/20
SCALE: AS NOTED
DRAWN BY:



SECTION CUT AT - 60' INTERVAL
SCALE: 1/8" = 1'-0"



SECTION CUT AT - 65' INTERVAL
SCALE: 1/8" = 1'-0"

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MARK	DATE	DESCRIPTION

MARK	DATE	DESCRIPTION

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MALIBU
SUN VALLEY
WWW.BUAIA.COM

SHEET TITLE
HEIGHT EXHIBIT

DRAWING NO.
A-8.6

PLOT DATE: 3/5/20
SCALE: AS NOTED
DRAWN BY:

PLANT KEY:

(B) *ARBUTUS MARILIA*, MULTI., 36" BOX

ARBUTUS ULEDO, MULTI., 24" BOX
STRAWBERRY TREE (B)

HETEROMELES ARBUTIFOLIA, MULTI., 15 GALLON
TOYON (A)

PLATANUS RACEMOSA, STD., 48" BOX
CALIFORNIA STAMORE (S)

(C) *CELANOTHUS GREFFUS* HORIZONTALIS, 1 GALLON
TALL-REE POINT CELANOTHUS (6 O.C.)

(F) *FESTUCA OVINA* OLAUCA, 1 GALLON
BLUE FESCUE (12" O.C.)

(J) *JUNCAUS PATENS*, 5 GALLON
RUSH (2' O.C.)

(L) *LIRIOPE MUSCARI*, 1 GALLON
BIG BLUE LILY TURF (2' O.C.)

(M) *MYOPORUM PARNIPOLIUM*, FLATS
PROSTRATE MYOPORUM (6" O.C.)

(P) *PELLINISSETUM MESSIACUM*, 5 GALLON
RED BULLY TAILS PELLINISSETUM (2' O.C.)

(S) *SEDUM SPATHULIFOLIUM*, 1 GALLON
SUCCULENTS (12" O.C.)

(V) *VERBENA PULCHELLA* GRACILIOR, FLATS
MOSS VERBENA (6" O.C.)

STREPTIZIA NICOLAI, 24" BOX
GIANT BIRD OF PARADISE (16)

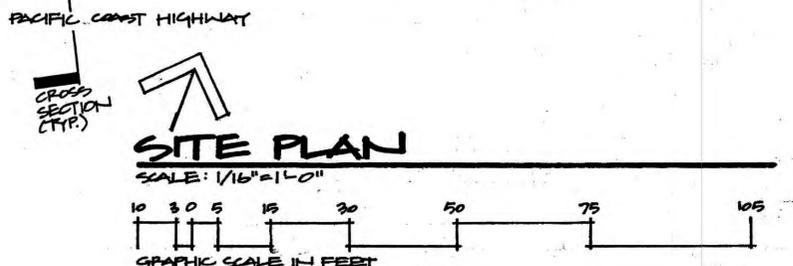
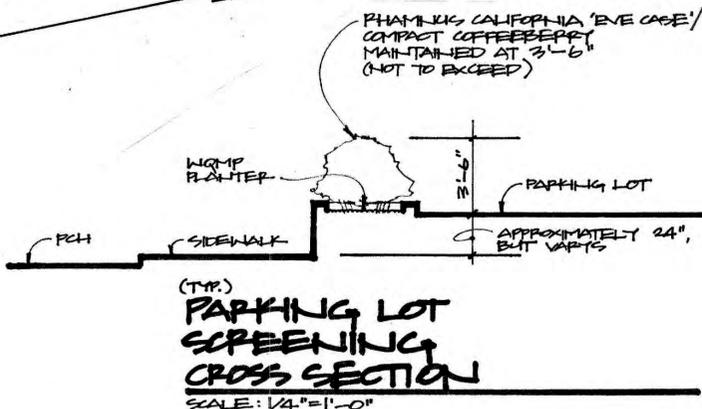
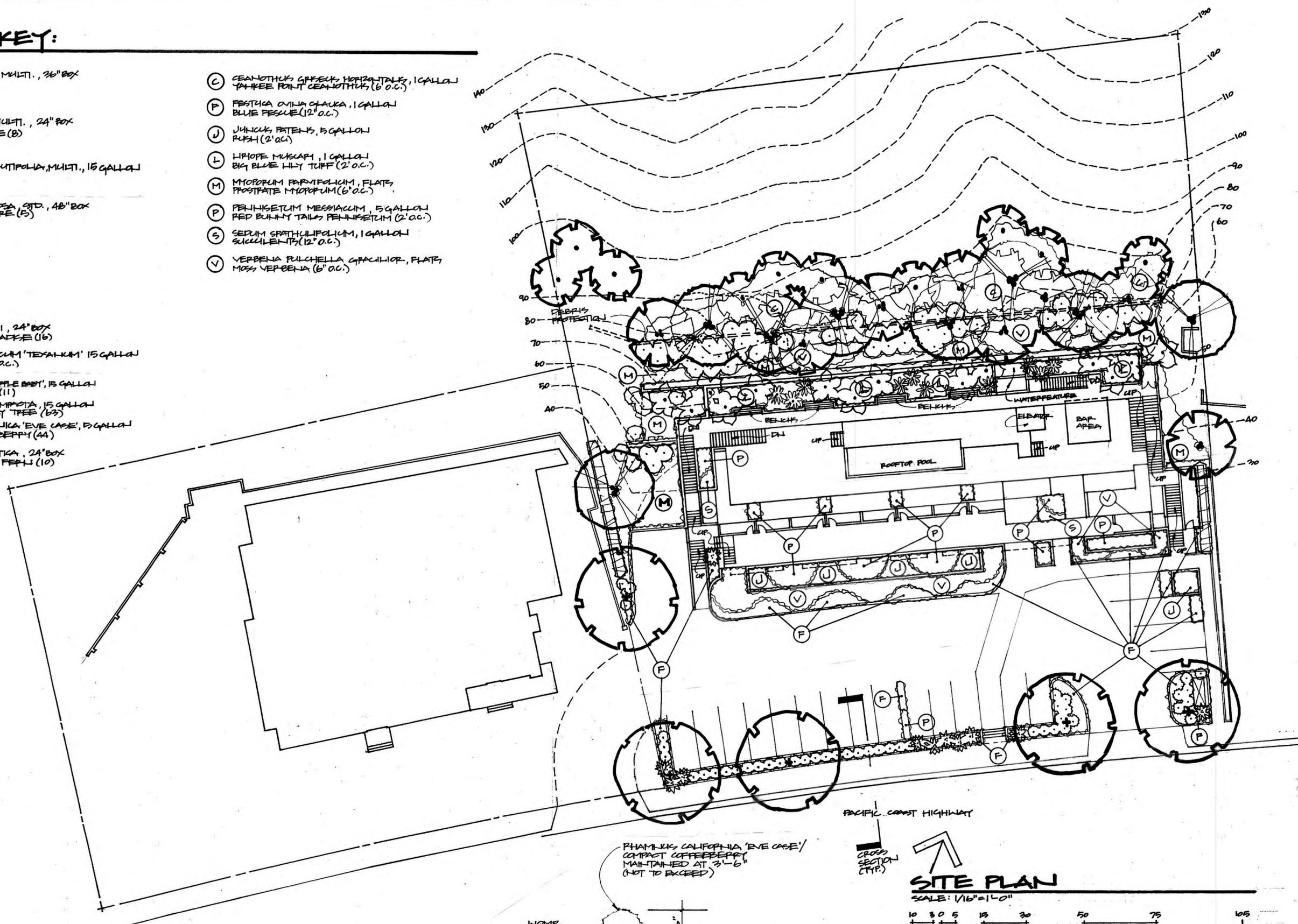
LICOPTRUM JAPONICUM 'TEXANUM', 15 GALLON
PRIVET HEDGE (2' O.C.)

PLEURIMUM TELUK 'PURPLE BODY', 15 GALLON
DWARF PURPLE PLAY (11)

ARBUTUS ULEDO COMPACTA, 15 GALLON
DWARF STRAWBERRY TREE (B3)

PHAMNUS CALIFORNICA 'EVE CASE', 5 GALLON
EVE CASE COFFEEBERRY (44)

DICKSONIA ANTARCTICA, 24" BOX
TASMANIAN TREE FERN (10)



MALIBU INN MOTEL
22059 PACIFIC COAST HIGHWAY
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TURNER
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ARCHITECTURE
P.O. BOX 222A
MALIBU, CA
WWW.TURNERLA.COM/910.466.9992

PLANNING PLAN

SHEET
P.1

MAY 2019
NOV. 2019
APRIL 2020

HYDROZONE KEY: (TOTAL LOT SQ. FOOTAGE - APPROX. 51,685)

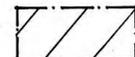
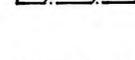
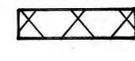
ZONE	DESCRIPTION OF ZONE	SQ. FOOTAGE
1	POOL (HIGH WATER USE)	400
2	WATER FEATURE (HIGH WATER USE)	90
3	PLANTED AREA (MEDIUM WATER USE)	1521
4	HEDGE (MEDIUM WATER USE)	276
5	WQMP PLANTER	1618
6	DROUGHT TOLERANT PLANTED AREA (LOW WATER USE)	1493
7	HILLSIDE DROUGHT TOLERANT PLANTED AREA (LOW WATER USE)	6639
8	NATURAL UNDISTURBED HILLSIDE (NO WATER USE) OPEN SPACE	17666

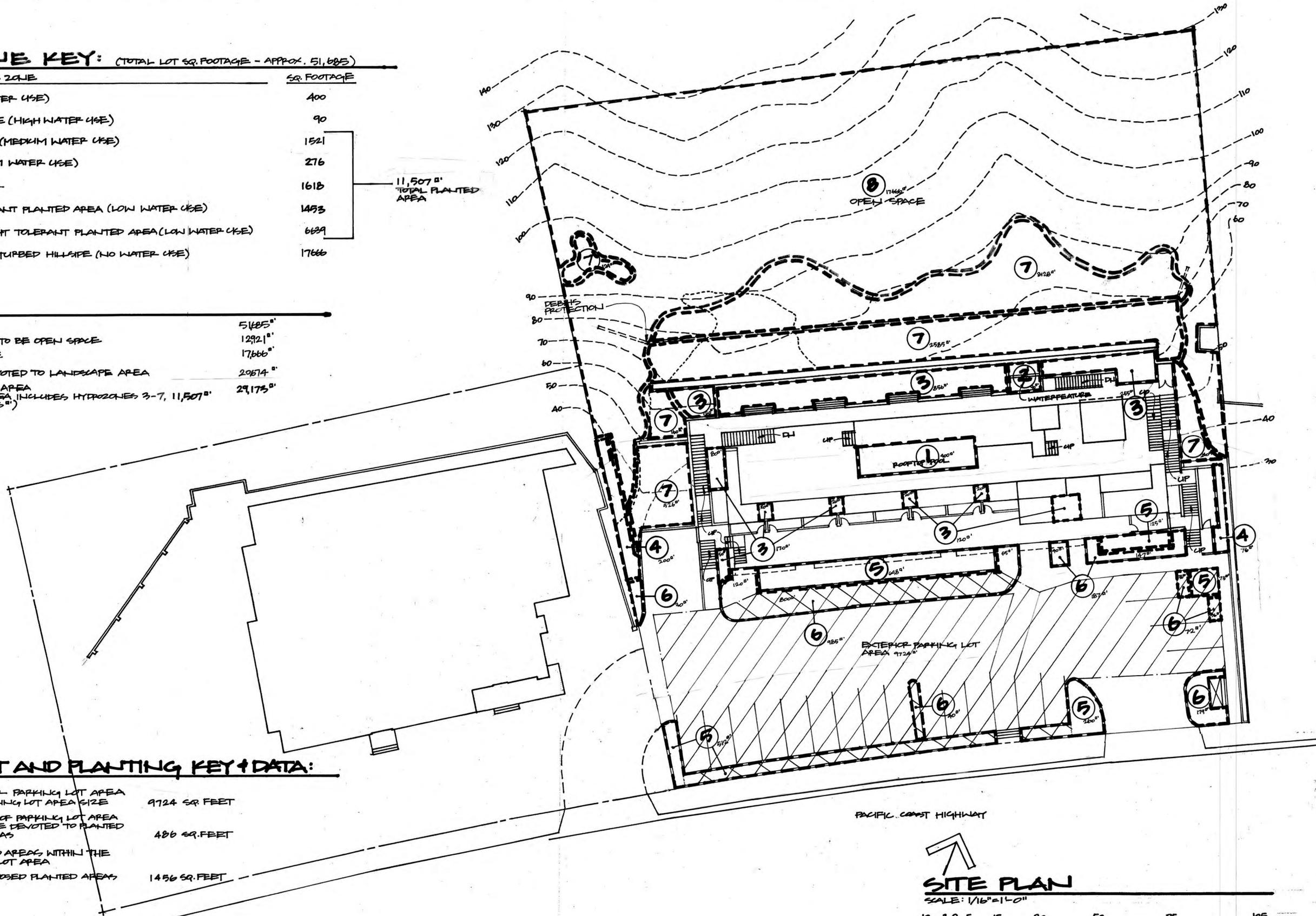
11,507^{sq}
TOTAL PLANTED AREA

LOT DATA

TOTAL LOT SIZE	51,685 ^{sq}
25% OF LOT REQUIRED TO BE OPEN SPACE	12,921 ^{sq}
PROPOSED OPEN SPACE	17,666 ^{sq}
40% OF LOT TO BE DEVOTED TO LANDSCAPE AREA	20,674 ^{sq}
PROPOSED LANDSCAPE AREA (TOTAL LANDSCAPE AREA INCLUDES HYDROZONES 3-7, 11,507 ^{sq} AND OPEN SPACE, 17,666 ^{sq})	29,173 ^{sq}

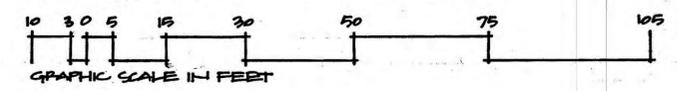
PARKING LOT AND PLANTING KEY & DATA:

	EXTERIOR PARKING LOT AREA PARKING LOT AREA SIZE	9724 SQ. FEET
	5% OF PARKING LOT AREA TO BE DEVOTED TO PLANTED AREAS	486 SQ. FEET
	PLANTED AREAS WITHIN THE PARKING LOT AREA PROPOSED PLANTED AREAS	1456 SQ. FEET



SITE PLAN

SCALE: 1/16" = 1'-0"



**MALIBU INN
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MALIBU, CA.
WWW.DTURNERLA
COM/310.456.3992

**HYDROZONE
PLAN**
W/ LOT AND
PARKING LOT
AREA DATA

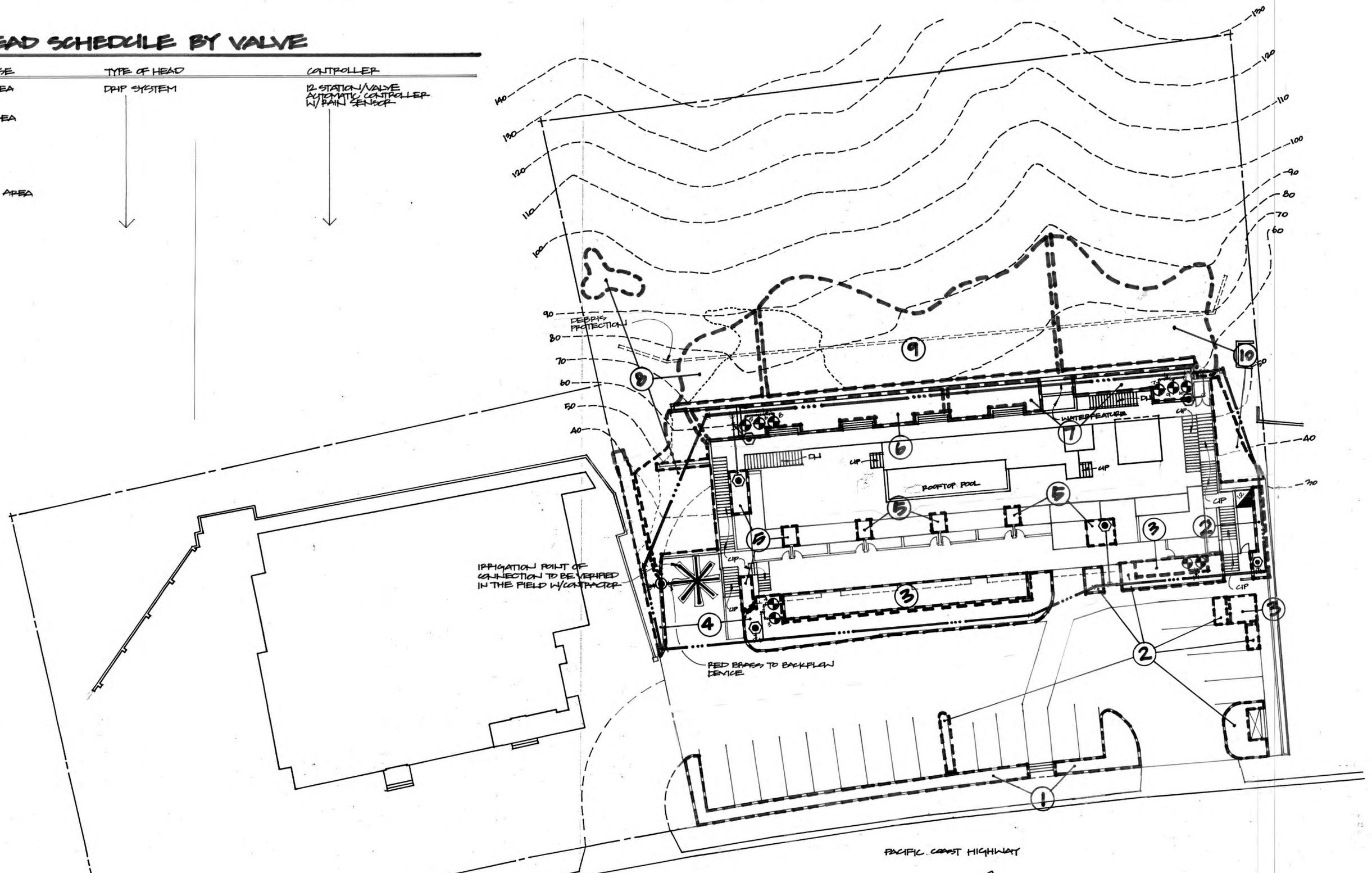
SHEET

H3.1

MAY 2019
NOV. 2019

IRRIGATION HEAD SCHEDULE BY VALVE

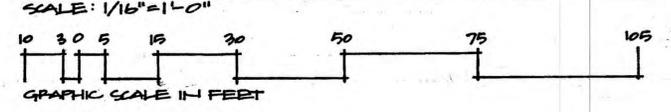
ZONE/ VALVE	DESCRIPTION OF USE	TYPE OF HEAD	CONTROLLER
1	NRMP PLANTED AREA	DRIP SYSTEM	12 STATION/VALVE AUTOMATIC CONTROLLER W/RAIN SENSOR
2	PLANTED AREA		
3	NRMP PLANTED AREA		
4	PLANTED AREA		
5			
6			
7			
8	HILLSIDE PLANTED AREA		
9			
10			



IRRIGATION KEY

- 1 1/2" PRESSURE LOOP SUPPLY LINE, SCHEDULE 40 PVC
- LATERAL SUPPLY LINE, SCHEDULE 40 PVC
- ⊙ RAINBIRD XC2-100 PPF DRIP CONTROL KIT, 1" PV VALVE W/1" PRESSURE REGULATING FILTER (10)
- ⊙ 1/4" FERCO #8057 PRESSURE BACK FLOW DEVICE (1)
- ⊙ BRASS WATER HYDRANT HOSE BIBB ON STEEL PIPER IN CONC. (7)
- ⊙ 12 STATION/VALVE AUTOMATIC CONTROLLER, IRRITROL OR EQUAL W/RAIN SENSOR (1)
- ⊙ AREA OF VALVE (10)

SITE PLAN



**MALIBU INN
MOTEL**
22459 PACIFIC COAST HIGHWAY
MALIBU, CALIFORNIA 90265

D. TURNER
LANDSCAPE
ARCHITECTURE
P.O. BOX 2224
MALIBU, CA.
WWW.DTURNERLA
COM/310.466.3992

**IRRIGATION
PLAN**

SHEET
17.1
MAY 2019
NOV. 2019

LANDSCAPE LIGHTING KEY:

- ☐ CONTROLLER, FX LUMINAIRE LUX-500-45 (2)
- DIRECTIONAL DOWN LIGHT, FX LUMINAIRE QT-2D-1LED-BZ (10)
- ⌋ WALL LIGHT, FX LUMINAIRE MO-2D-3LED-SQ-BZ (41)
- # PATH LIGHT, FX LUMINAIRE M.P.L-2D-1LED-BZ (17)
- ▲ ACCENT LIGHT, ROCKSCAPE F13B-NAZ W/STAKE, MR-16 LAMPS, 35 WATT FLOOD (2)
- ⊙ WATER FEATURE LIGHT, HINKLEY 1539ES, SOLID BRASS, EXTRA LONG CORD, MR-16 LAMP 20WATT (4)
- ⌚ CLOCK, INTERMATIC TR911C 24 HOUR TIMER (3ON/OFF CYCLES) MECHANICAL CLOCK MOUNTED AT EYE LEVEL AT LOCATION PER NOTE. THERE WILL BE 2 CLOCKS, EACH W/ PHOTOCELL OVERRIDE

UNLESS CONTROLLED BY MOTION SENSORS, OUTDOOR LIGHTING SHALL BE EXTINGUISHED BY 11:00 PM OR WHEN PEOPLE ARE NO LONGER PRESENT IN EXTERIOR AREAS.

LIGHTING NOTES:

LOCATION OF LIGHTS ARE DIAGRAMMATIC. FINAL LOCATIONS TO BE SET ARCHITECT AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

WIRING AND TRANSFORMER INSTALLATION TO BE PROVIDED BY ELECTRICIAN.

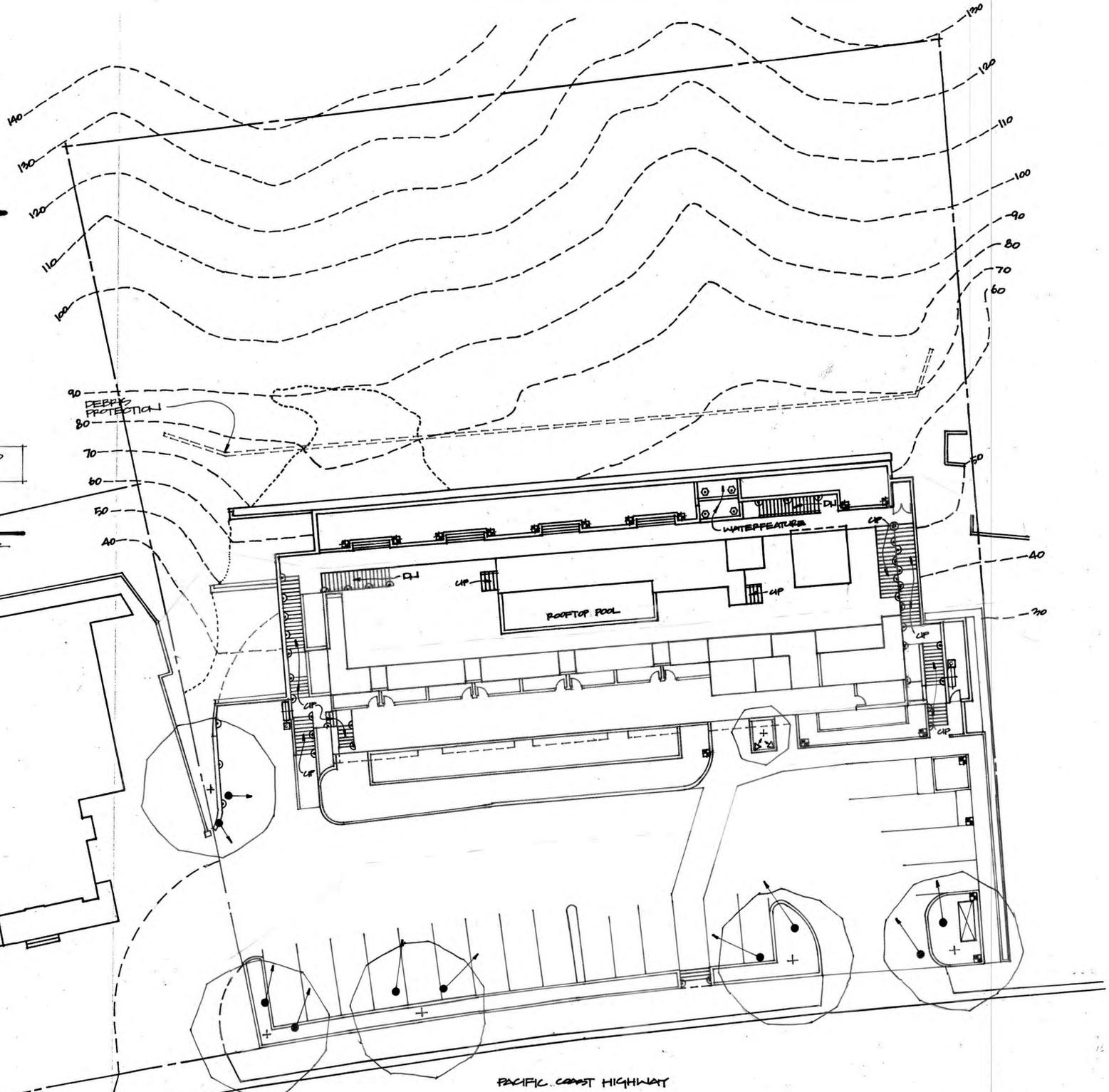
ALL LIGHTING SHALL BE FULLY SHIELDED AND DIRECTED DOWNWARD.

LUMEN COUNT SHALL NOT EXCEED 850 LUMENS.

COLOR TEMPERATURE SHALL NOT EXCEED 3000 KELVIN.

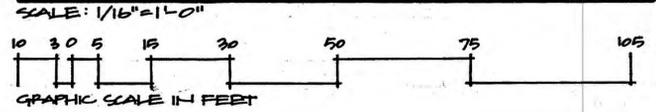
Walking Surface or Area	Lighting Level in Footcandles (Lux) NFPA 1 & 101	Lighting Level in Footcandles (Lux) IBC/ICC
New stairways	10 (108)	1 (10.8)
Floors & other walking surfaces (not stairs)	1 (10.8)	1 (10.8)
Assembly areas during performances	0.2 (2.2)	0.2 (2.2)

Notes:
 Effective dates: NFPA as of 2003 in the U.S. but adoption by local jurisdictions may vary, typically beginning in 2005/2006 and extending forward to the current IBC 2015.
 Illumination is measured at the walking surface.
 Illumination is always on, 24/7 but can be automatically dimmed.
 Key NFPA Standards, Codes & Guidelines include:
 - NFPA 1, Uniform Fire Code™, Chapter 14
 - NFPA 101, Life Safety Code®, Chapter 7
 Note that jurisdictions may permit automatic dimming of stairways when the stair is not occupied and may permit automatic brightening of permanently lit (dimmed at night) stairways by automatic sensor switches that detect occupancy or motion.
 Adapted from FEMA, USA, "Measures of Egress Illumination", FEMA U.S. Fire Administration / National Fire Academy, No. 2007-11 (2007), revised 2 April 2015, original source: http://www.usfa.fema.gov/downloads/publications/efcibc-2007_11.pdf
 The most-current International Building Code Egress Lighting Code is the 2015 International Building Code (IBC) available from codes.iccsafe.org at this website: <http://codes.iccsafe.org/publications/2015/151-Codes2015%20IBC%20151>
 In that document see 2015 IBC Section 1001, Chapter 10, Means of Egress whose discussion includes exit access stairways, exterior exit stairways, interior exit stairways, scissor stairways, stairs, stairways, spiral stairs, and winder stairs.



PACIFIC COAST HIGHWAY

SITE PLAN
 SCALE: 1/16"=1'-0"



**MALIBU INN
 MOTEL**
 22459 PACIFIC COAST HIGHWAY
 MALIBU, CALIFORNIA 90265

TURNER
 LANDSCAPE
 ARCHITECTURE
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**LANDSCAPE
 LIGHTING
 PLAN**

SHEET
LL-1

MAY 2019
 NOV. 2019