

**Development Consultant:**  
Project Delivery Analysis, LLC  
14342 Shawnee Street  
Moorpark, CA 93021  
Phone: (805) 298-6270  
Fax: (805) 552-0016  
Bruce McBride,  
Lake Jesson, Asst. P.M., Green Acres

**Traffic Consultant:**  
Overland Traffic Consultants,  
Inc. 27201 Torrey Road, #206  
Santa Clarita, CA 91355  
Phone: (661) 799-8423  
Fax: (661) 799-8156  
Jerry Overland,  
Liz Cullhane

**Architecture:**  
Burdge & Associates, Architects  
2125 Pacific Coast Highway  
Malibu, CA 90265  
Phone: (310) 454-5906  
Fax: (310) 454-7175  
Architect: Dong Burdgo, AIA

**Biological Consultant:**  
Rioson Consultants, Inc.  
180 North Adolwood Avenue  
Ventura, CA 93003  
Phone: (805) 644-1155  
Fax: (805) 644-1240  
Felicia Griego,  
Dulane VanDer Pluym

**Hydrogeologist:**  
Earth Forensics, Inc.  
12532 Vista Panorama  
North Tustin, CA 92705  
Phone: (714) 266-4055  
Richard Laton

**Geologist:**  
GeoConcepts  
14128 Hamlin Street, Suite 200  
Tucson, AZ  
Phone: (818) 994-8899  
Fax: (818) 994-8399  
Robert Sousa,  
Scott Walter

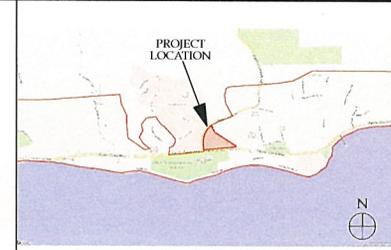
**Native American Monitor:**  
Native American Monitoring  
Group  
1931 Shadbrook Drive  
Thousand Oaks, CA 91326  
Phone: (805) 492-2255  
Fax: (805) 492-0350  
Rebecca Salazar-Folkes

**Land Use Consultant:**  
Schultz & Associates, Inc.  
5234 Chesboro Road, Suite 200  
Agoura Hills, CA 91301  
Phone: (818) 338-3696  
Fax: (818) 338-3121  
Don Schultz

**Surveyors:**  
Land & Air Surveying, Inc.  
5312 Derry Avenue, Suite V  
Agoura Hills, CA 91301  
Phone: (818) 879-8979  
Fax: (818) 706-3010  
Mark Sandstrom

**Landscape Architect:**  
Place Landscaping  
323 Sunset Avenue, Suite E  
Venice, CA 90291  
Phone: (310) 450-8100  
Fax: (310) 450-8141  
Victoria Falschning

**Irrigation Consultant:**  
Atomic Irrigation  
1158 20<sup>th</sup> Street, Suite 241  
Santa Monica, CA 90403  
Phone: (310) 592-4704  
Mark Sussex



VICINITY MAP

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265

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4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS
5	2016-11-07	SITE WORK MODIFICATIONS

**BURDGE & Associates**  
ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM

21255 PACIFIC COAST HWY #60 WASHINGTON AVE  
MALIBU, CA 90265 SUITE 204 C  
TEL. 310-458-9895 KETCHUM, © 2016  
TEL. 208-665-2028

DESCRIPTION:  
COVER SHEET/  
PROJECT INDEX

DRAWING NO. **T-1.1**

PROJECT 2500 - Malibu Memorial Park  
DATE Plot Date: 11/22/16  
SCALE AS NOTED  
DRAWN BY D.W.R., A.M.

	MIN. REQUIRED	PROPOSED
LANDSCAPING:	484,550 Sq.Ft. 40% of net lot Area	702,036 Sq.Ft. (57% of net lot area)
OPEN SPACES:	302,742 Sq.Ft. 25% of net lot Area	423,448 Sq.Ft. (34.9% of net lot area) (including Hardscape and Landscape)

### PROJECT DATA

Deferred submittal documents shall be submitted to the architect or engineer-of-record, who shall review them and forward them to the building official with a notation that they have been reviewed and have been found to be in general conformance with the design of the building or structure. The deferred items shall not be installed until their design and submittal documents have been reviewed and approved by the building official.

### DEFERRED SUBMITTAL

ADDITIONAL	ADDF.	JOINT	IT
ADJUSTABLE	ADJ.	MANUFACTURE	MFR
ABOVE FINISHED FLOOR	A.F.F.	MANUFACTURERS	MFRS
AIR CONDITIONING	A/C	MATERIAL	MATL.
ALTERNATE	ALT.	MAXIMUM	MAX.
ARCHITECT (URAL)	ARCH.	MECHANICAL	MECH.
AREA DRAIN	AD	METAL	MTL.
BLECKING BOARD	BLKG. BD.	MINIMUM	MIN.
BUILDING	BLDG.	MISCELLANEOUS	MISC.
CABINET	CAB	NORTH	N
CILING	CLG.	NOT IN CONTRACT	N.I.C.
CENTER	CTR.	NOT TO SCALE	N.T.S.
CENTER LINE	C.L.	NUMBER	NO. OR X
CERAMIC TILE	C.T.	ON CENTER	O.C.
CLEAR	C.C.	OUTSIDE DIAMETER	O.D.
CONCRETE	CONC.	OPENING	OPC.
CONCRETE MASONRY UNIT	CMU	PAIR	PR.
CONSTRUCTION	CONST.	PERFORATED/EDG.	PERF.
CONTINUOUS	CONT.	PIECE/PIECES	PC./PCS.
CONTROL JOINT	C.J.	PLASTER AREA	PLA.
DIAMETER	D.I.A.	QUANTITY	QTY
DIMENSION	DM	RADIUS	RAD
DOUBLE HUNG	D.H.	REFERENCE	REF.
DOWN	DN	REFRIGERATOR	REFRIG.
DRAWING	DWNG.	REINFORCE/REINFORCING	REINF.
ELECTRIC PANEL	ELECT. PNL.	REQUIRED	REQ.
ELEVATOR	ELEV.	RETURN AIR	R.A.
ENCLOSURE	ENCL.	ROOF OPENING	R.O.
ENGINEER	ENGR.	SHEET	SHT.
EQUIPMENT	EQUIP.	SIMILAR	SIM.
EXTRUDE OR EXTRUSION	EXTR.	SPLIT	SPLT.
FABRICATED	FAB.	SQUARE	SQ.
FINISH	FIN.	SMOKE DETECTOR	SMOKE DET.
FIXTURE	FIXT.	SPRINKLER HEAD	SPRINK. HEAD
FLUORISCENT	FLUOR.	SPECIFICATIONS	SPECS.
FOOT	FOOT	STANDARD	STD.
FRESH AIR INTAKE (OR INLET)	F.A.I.	STRUCTURAL	STRUC.T.
FURNISHED	FURN.	TELEPHONE	TEL.
FURRING	FUR	TELEVISION	TV
GALVANIZED	GALV.	TEMPORARY	TEMP.
GANG	GANG	TONGUE AND GROOVE	T & G
GROUT	GROUT	TYPICAL	TYP.
GYP-SUM BOARD	GYP. BD.	UNLESS OTHERWISE NOTED	U.O.N.
HIGHT	HT	VERTICAL	VERT.
HOLLOW METAL	H.M.	VINYL COMPOSITION TILE	V.C.T.
HORIZONTAL	HORIZ.	WITH	W/
HOT WATER	HW	WITHOUT	W/O
INSIDE DIAMETER	I.D.	WOOD	WOOD

### ABBREVIATIONS

**PROJECT DESCRIPTION:**  
Green Acres, LLC, is developing the Malibu Memorial Park and Chapel, comprised of approximately 21.0 acres of a 27.8 acre property located east of Malibu Canyon Road, west of Civic Center Way, and north of Pacific Coast Highway in the City of Malibu, California (the "Project"). The unstable slope areas along the perimeter of the site comprise the remaining 7 acres of the parcel that Green Acres has elected not to develop. The proposed Memorial Park project contains approximately 16,073 CSF of FAR development and will include the construction of a 6,673 SF Main Chapel facility, 9,348 SF subterranean parking basement (19 parking spaces), 48 free-standing Mausoleum structures totaling approximately 9,400 SF (approx. 200 SF each), approximately 36,000 "in ground" plot spaces and another 27,651 "above grade" interments will allow for various crypt configurations, cremation and fractional burial options, as well as surface unenclosed parking for 152 guest vehicles along the entry drive and Chapel ring.

**DISCRETIONARY REQUESTS:** Site plan review for height over 18' but less than 28' for sloped roof.

**PROJECT ADDRESS:** 4000 Malibu Canyon Road Malibu, CA 90265

**A.P.N.:** 4458 030 007- 4458 028 015 - 4458 028 019

**LCP ZONING:** CV-2 (Commercial Visitors Serving 2)

**OWNER:** Green Acres, LLC a California Limited Liability Company 2387 Pacific Coast Highway #775 Malibu, CA 90265

**OCCUPANCY GROUP:** A-3/U

**TYPE OF CONSTRUCTION:** VB

**NUMBER OF STORES:** 1 + Basement

**FIRE ZONE:** VHFHZ

**SPRINKLERED:** YES (Sprinklered per LACO Fire Departments Requirement)

**LOT AREA:** Gross: 1,228,908 Sq.Ft. (28.2 Acres)  
Net: 1,210,968 Sq.Ft. (27.8 Acres)

**LOT DIMENSIONS:** Depth: 1,299.33'  
Width: 952.07'

**SETBACKS:**

	MIN REQUIRED:	PROPOSED:
Front:	65'	494.12' Chapel, 103.48' Mausoleum
Side 155':	99.21'	295.18' Chapel, 95.21' Mausoleum
Side 175':	148.21'	489.12' Chapel, 227.76' Mausoleum
Rear:	194.90'	576.88' Chapel, 280.49' Mausoleum

**PARKING:** REQUIRED: PROPOSED:

	TOTAL:	137'	176'
Regular:	110	135	
Compact:	27	35	
ADA:		6	

\*Include ADA Accessible Parking Spaces dimensions per CBC 2013 --(min. 18x20)

**MAX. ALLOWABLE FLOOR AREA:** F.A.R. 0.15 of Lot Area

1,210,968 Sq.Ft. x 0.15 = 181,645 Sq.Ft. FLOOR AREA ALLOWED

**PROPOSED FLOOR AREA:**

Main Chapel (including bathrooms and enclosed accessory areas).....	6,673 Sq.Ft. +
Detached Buildings (47 free-standing Mausoleums) .....	9,400 Sq.Ft. =
T.D.S.F. ....	16,073 Sq.Ft.
Subterranean Garage.....	9,348 Sq.Ft. (Excluded from F.A.R.)

### PROJECT DATA

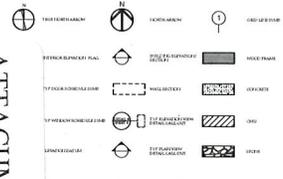
### SHEET INDEX

**RECEIVED**  
**APR 7 2017**  
**PLANNING DEPT.**

### PROJECT TEAM

- 2014 County of Los Angeles Building Code (Title 26) Based on the 2013 California Building Code and the 2012 International Building Code
- 2014 County of Los Angeles Electrical Code (Title 27) Based on the 2013 California Electrical Code and the 2011 National Electrical Code
- 2014 County of Los Angeles Plumbing Code (Title 28) Based on the 2013 California Plumbing Code and the 2012 Uniform Plumbing Code
- 2014 County of Los Angeles Mechanical Code (Title 29) Based on the 2013 California Mechanical Code and the 2012 Uniform Mechanical Code
- 2014 County of Los Angeles Green Building Standards Code (Title 31) Based on the 2013 California Green Building Standards Code

### APPLICABLE CODES

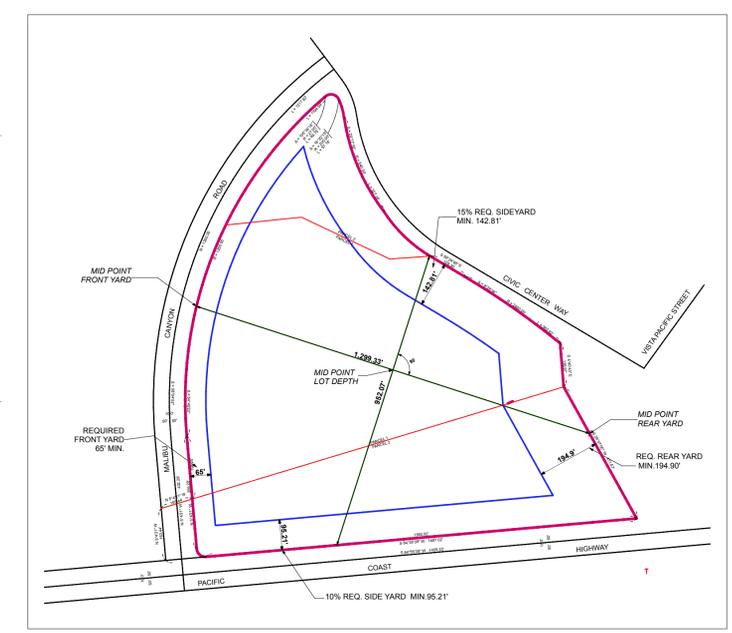


### SYMBOL LEGEND

ATTACHMENT 2

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265



**2** SETBACKS CALCULATION  
SCALE: 1:3200

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**BURDGE & Associates ARCHITECTS**

MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905

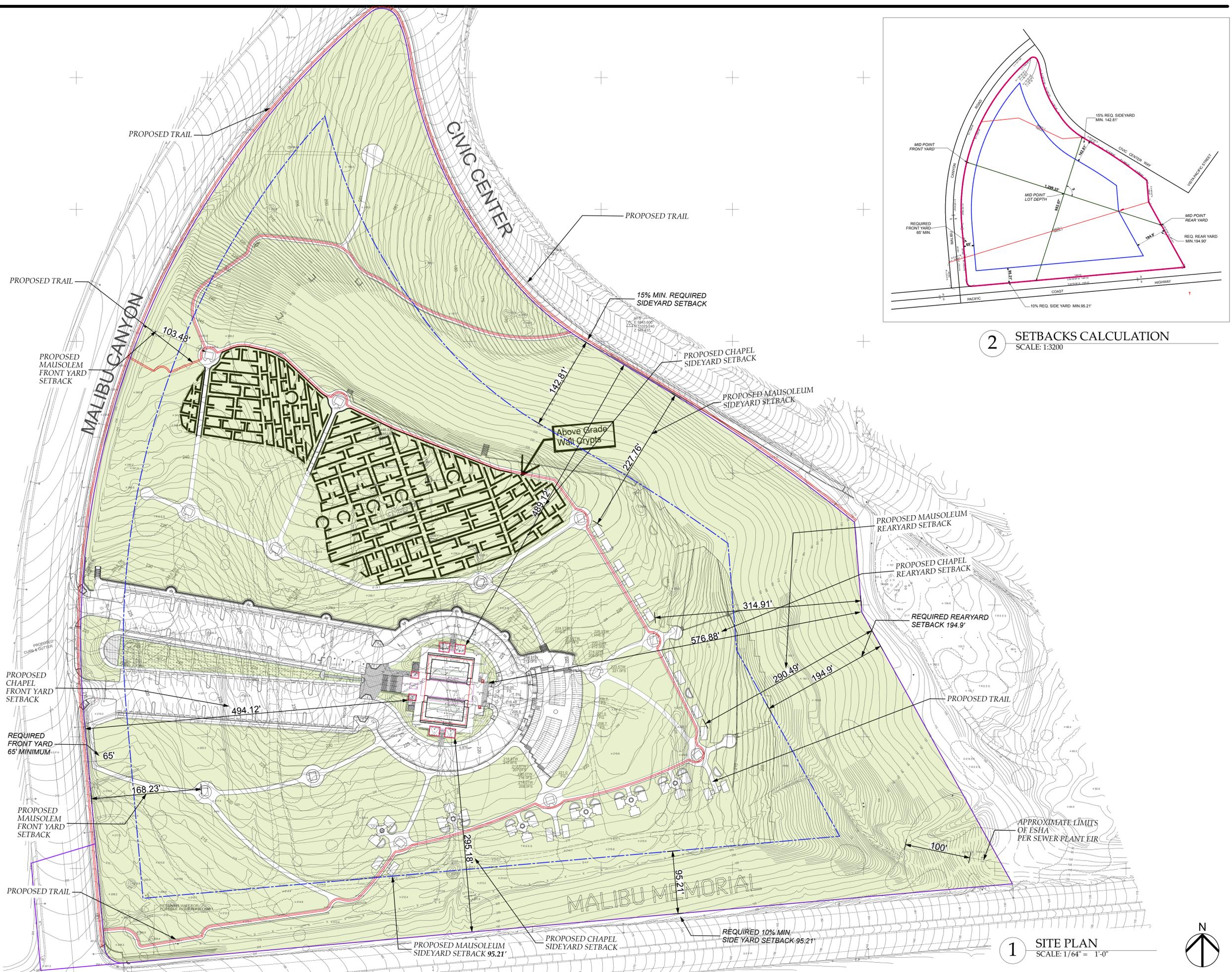
480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-495-3228

DESCRIPTION:

## SITE PLAN OVERVIEW & SETBACKS

DRAWING NO. **A-0.1**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 11/23/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



**1** SITE PLAN  
SCALE: 1/64" = 1'-0"



MAP-12\_2016-11-22.plt (set based on 11/23/16 BY ANNA MATTIOLI)

# MALIBU MEMORIAL PARK

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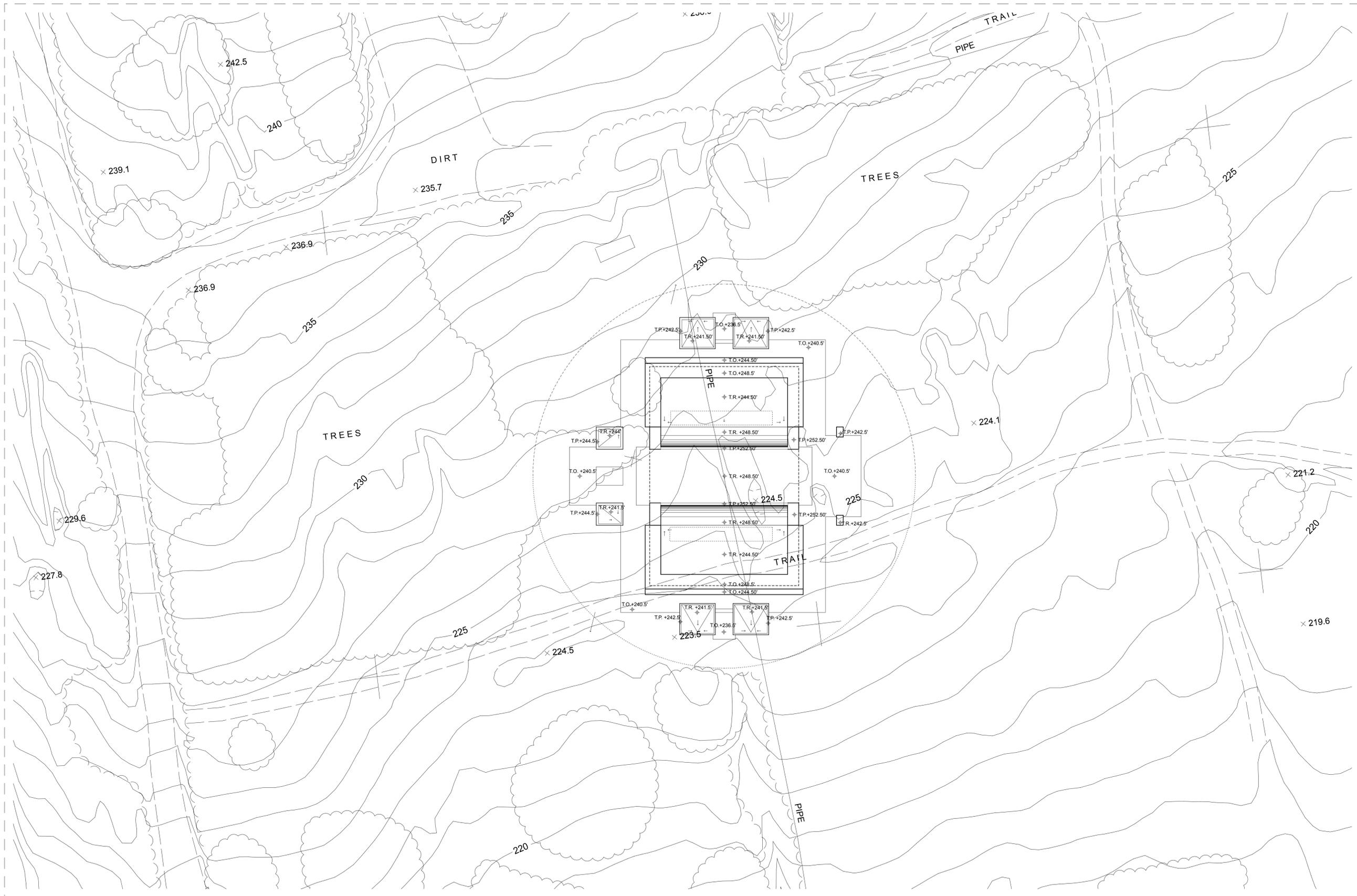
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480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-495-3228

**DESCRIPTION:**

**TOPOGRAPHIC SURVEY & ROOF PLAN OVERLAY**

DRAWING NO.	<b>A-0.2</b>
PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



**LEGEND**

T.O. TOP OVERHANG  
T.P. TOP PARAPET  
T.R. TOP FLAT ROOF

**1 SURVEY WITH PROPOSED ROOF PLAN**  
SCALE: 1" = 20'



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ARCHITECTS

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21235 PACIFIC COAST HWY. SUITE 204 C MALIBU, CA 90265 TEL: 310-458-5905

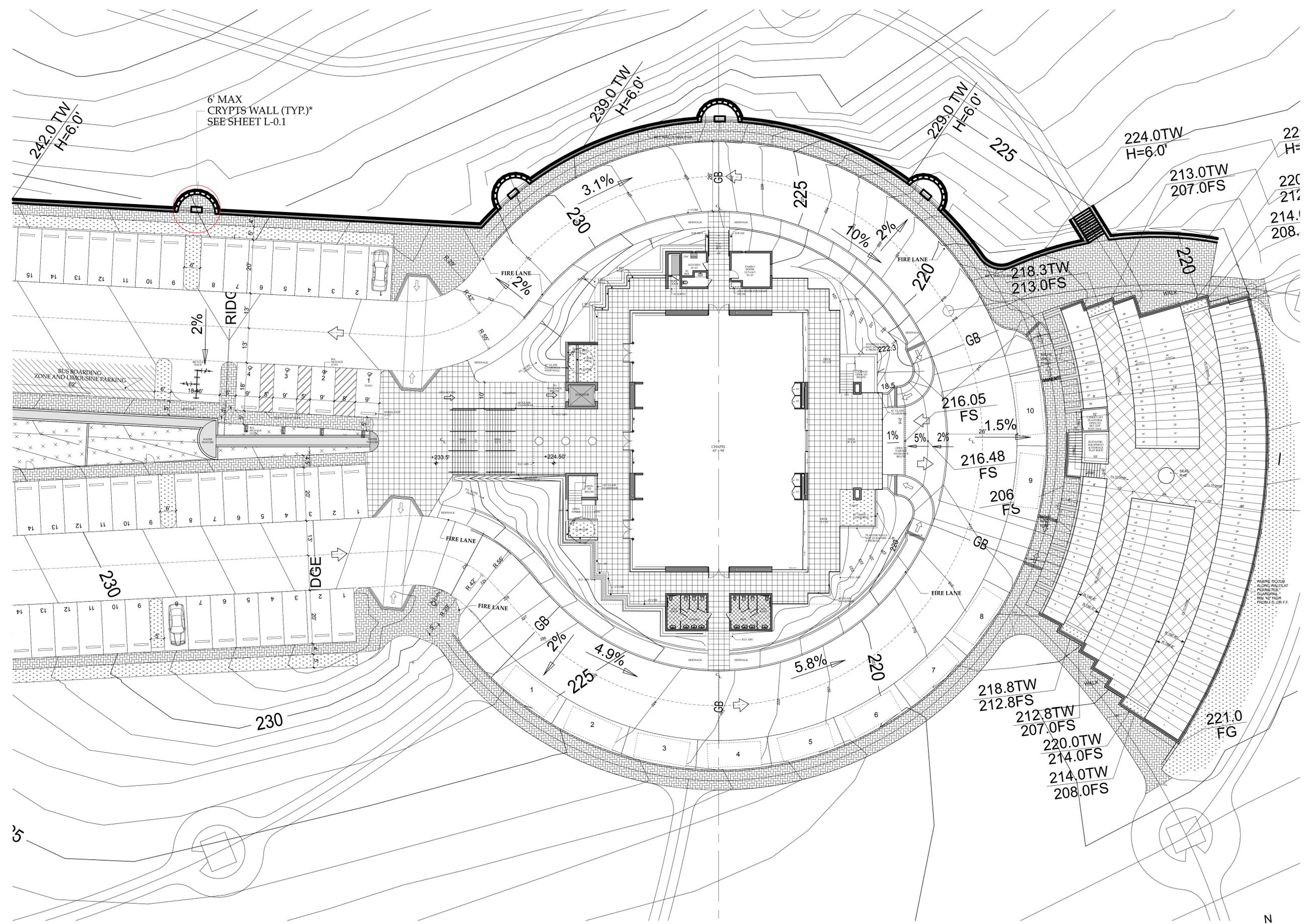
480 WASHINGTON AVE. KETCHUM, ID 83340 TEL: 208-495-3228

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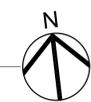
PARTIAL SITE PLAN

DRAWING NO. **A-0.3**

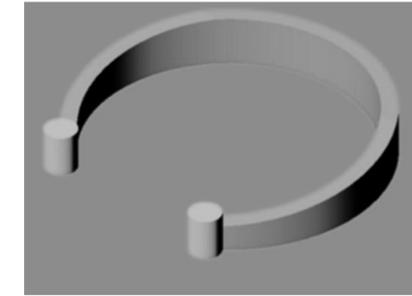
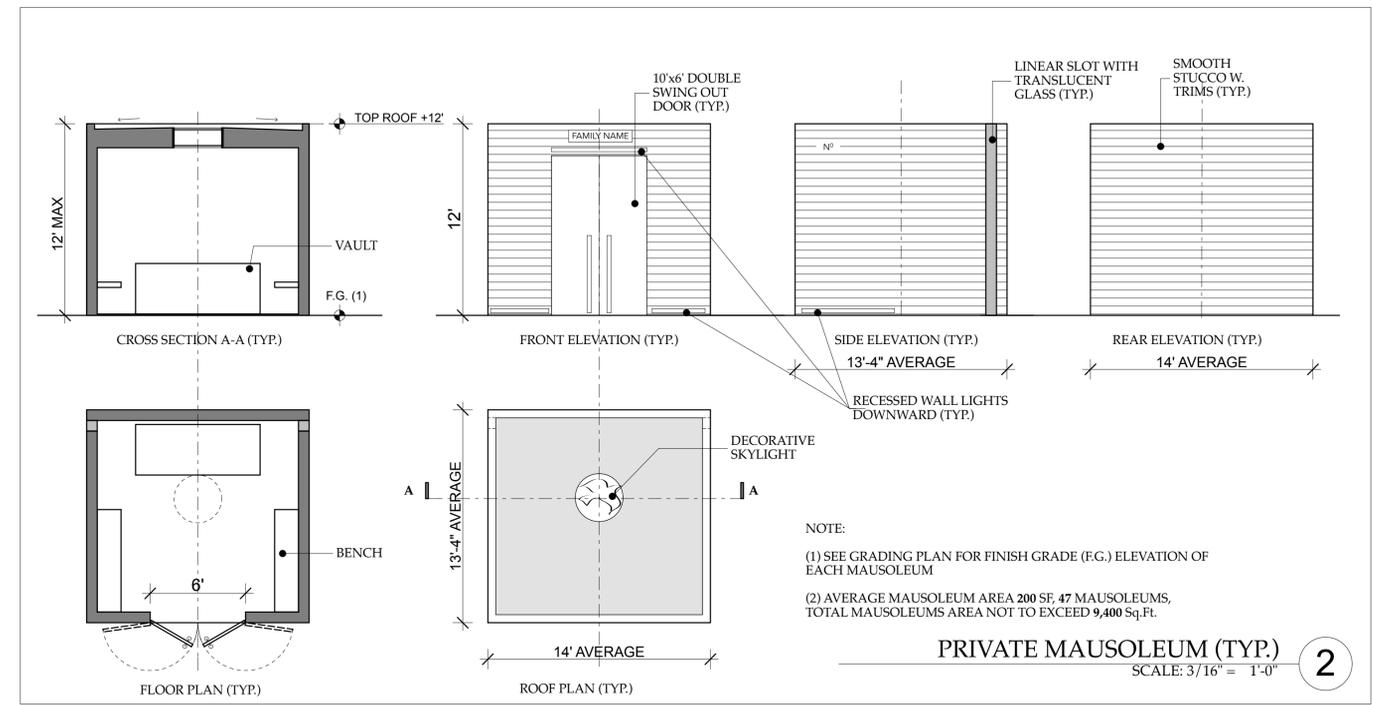
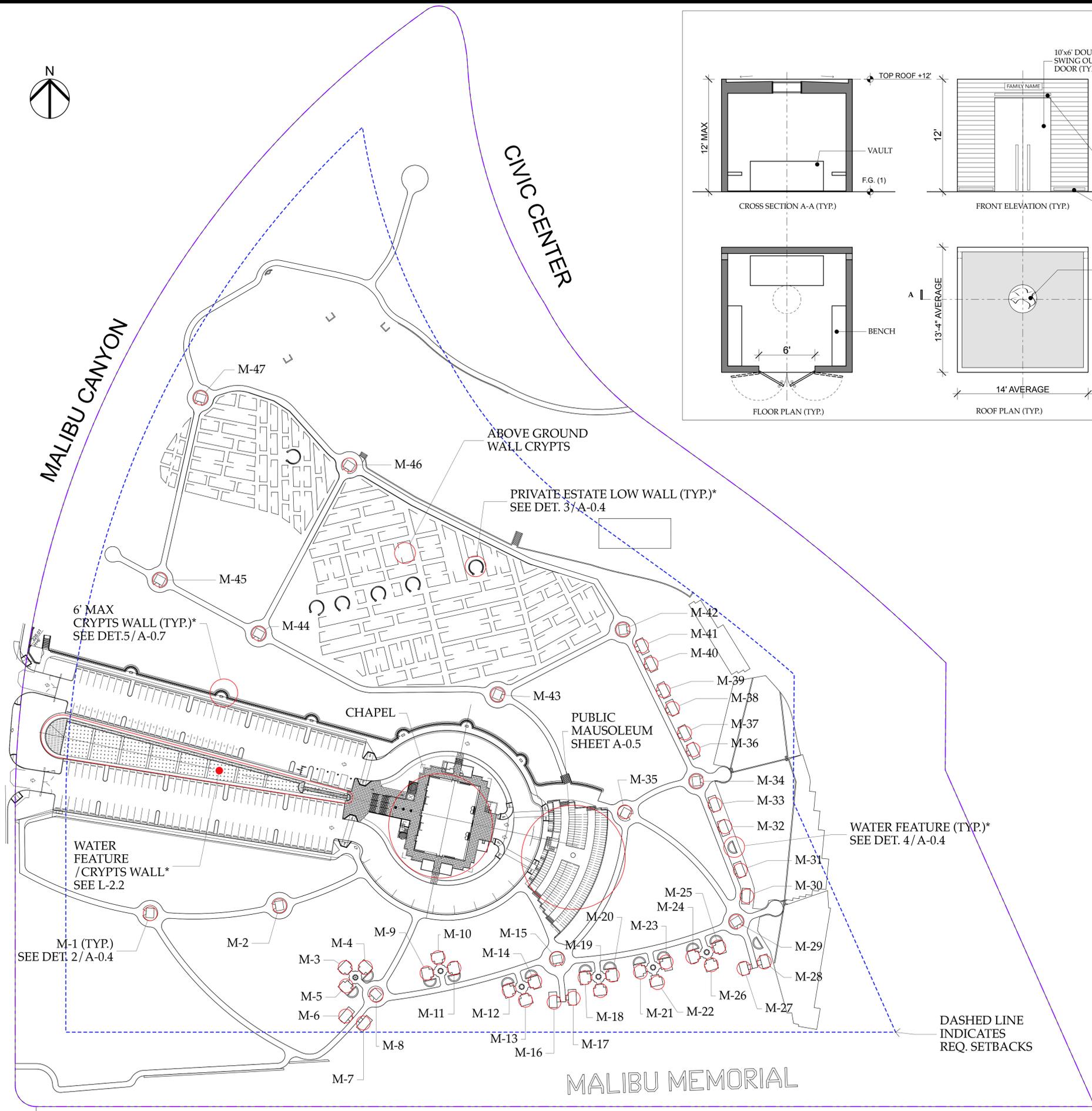
PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



**1** FIRST FLOOR  
SCALE: 1/16" = 1'-0"

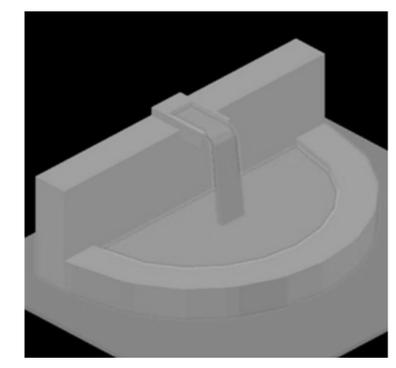


MAP-116\_2016-02-09.plt (last saved on 4/11/16 BY ANNA.MASTICO)



**Private Estate**  
The Private Estate wall is approximately 2' high at entrance and 3 to 3 1/2 feet high at the back. The inside diameter is 17' feet. The wall thickness is 12" to 8" thick. The two columns at the front are 2 foot diameter and are approximately 2 to 3 feet high. The walls can be constructed of split faced block, or else veneer rock covered CMU block. Small statuarines can be placed on top of the columns. An upright bronze or granite memorial can be installed on the inside wall. The height of the memorial cannot exceed the height of the wall.  
The enclosed Private Estate contains 4 pre-installed double depth lawn crypts.

**LOW WALL CRYPT (TYP.)**  
NOT TO SCALE 3



**Water Feature**  
The Water Feature is series of cremation niches in a semi-circular wall that is approximately 28" high x 24" wide, and a 14' inside diameter. You can sit on the top of the low curved wall. The area behind the low wall is a pond. The back wall is also a niche wall that is approximately 6' high x 18" wide x 2" thick. A re-circulating pump is installed inside the back wall. The water is pumped off the top of the wall and falls into the pond below, to create a tranquil sound. Small bronze or ceramic plaques can be attached to the face of the niche fronts. The Water Feature is constructed of pre-constructed concrete cremation vaults and surfaced with granite.

**WATER FEATURE (TYP.)**  
NOT TO SCALE 4

**CEMETERY PLAN**  
SCALE: 1/64" = 1'-0" 1

NOTE:  
-SEE SHEET BP1-0.1 & BP1-0.2 FOR PLOTS LAYOUT \*  
-\* DESIGN BY OTHER

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480 WASHINGTON AVE. KETCHUM, ID 83340 TEL: 208-495-3228

**DESCRIPTION:**  
SITE PLAN OVERVIEW & PRIVATE MAUSOLEUMS

DRAWING NO. **A-0.4**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 11/23/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.,

# MALIBU MEMORIAL PARK

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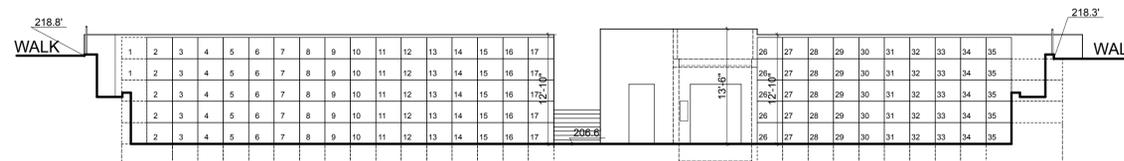
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PUBLIC MAUSOLEUMS

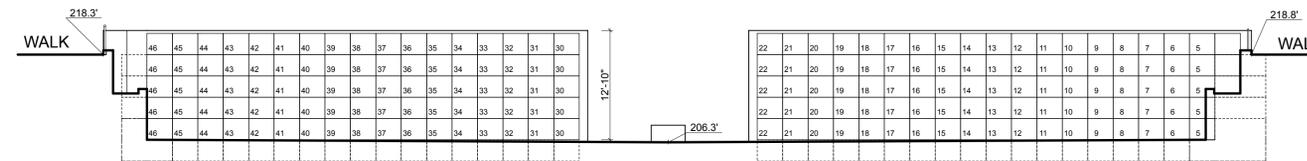
DRAWING NO. **A-0.5**

PROJECT: 2550 - Malibu Memorial Park  
DATE: Plot Date: 4/11/16  
SCALE: AS NOTED  
DRAWN BY: D.W.B., A.M.

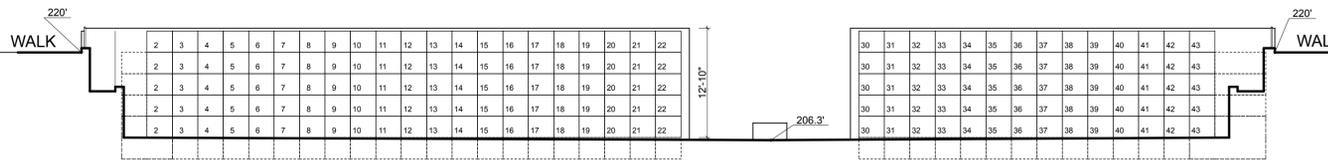
## ELEVATIONS CRYPTS WALL A-D - scale 1"=10'



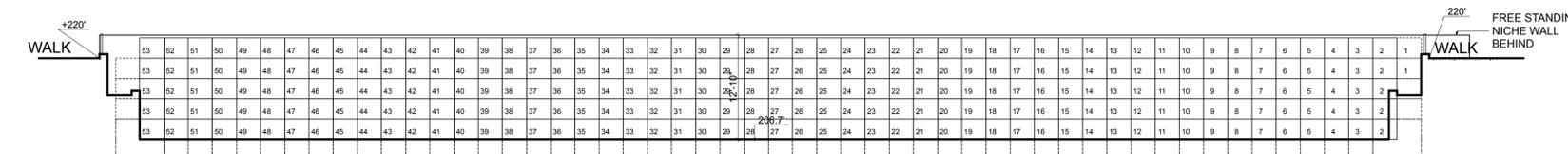
WALL A



WALL B



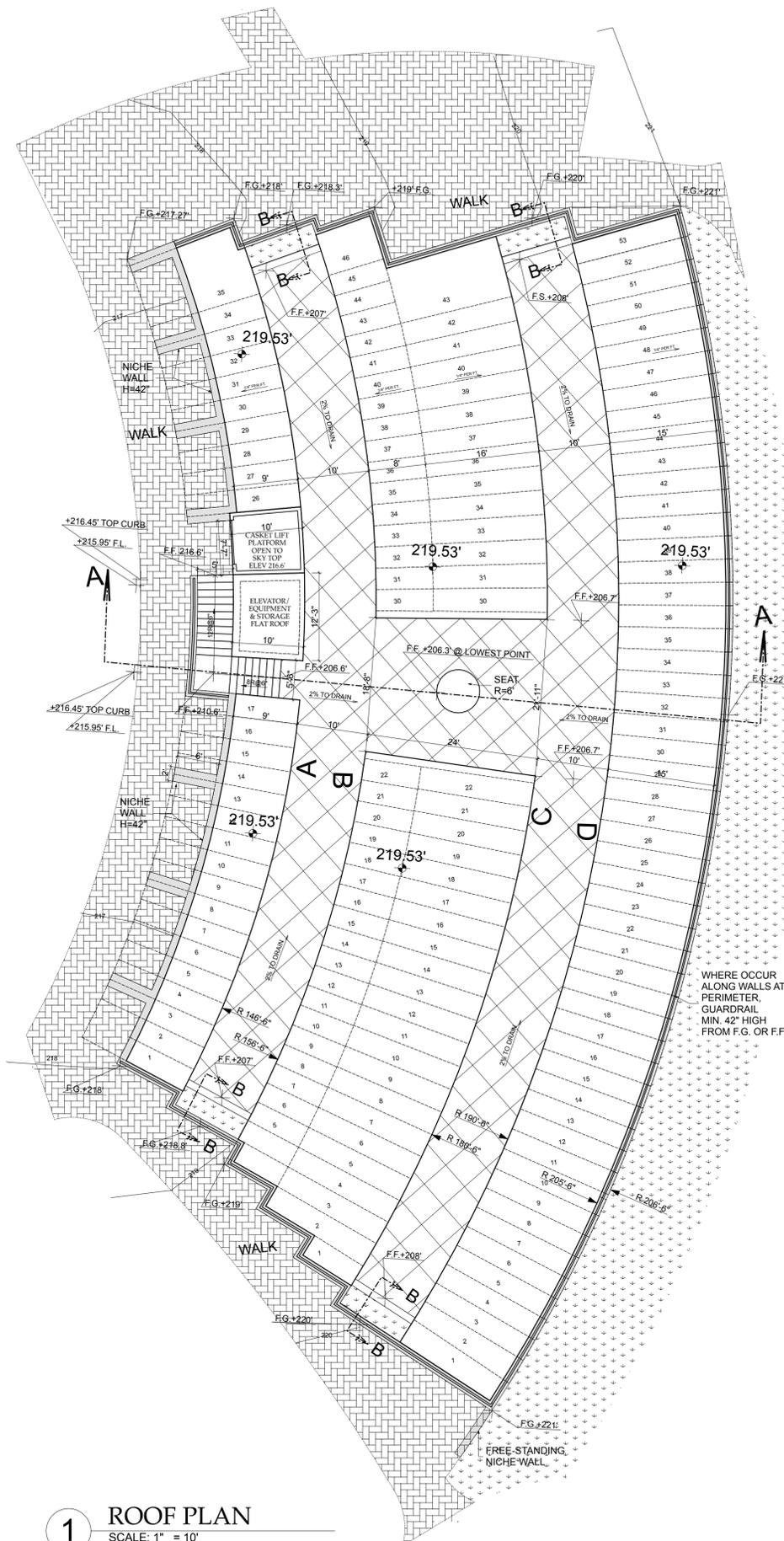
WALL C



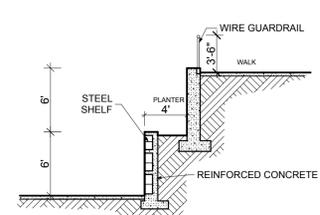
WALL D

- NOTE:  
1) MAUSOLEUM IS CONSTRUCTED OF REINFORCED CONCRETE.  
2) MAUSOLEUM IS SURFACED WITH MARBLE OR GRANITE, INCLUDING CRYPT AND NICHE FRONTS.  
3) FLOOR IS EITHER TERRAZZO OR GRANITE.  
4) ELEVATOR WILL BE DESIGNED TO LOWER CASKETS FROM WALKWAY TO FLOOR.  
5) MAUSOLEUM CORRIDORS ARE 10' WIDE.

- 6) SINGLE CRYPTS ARE 3' X 2.5' X 8'  
7) TANDEM CRYPTS ARE 3' X 2.5' X 16'  
8) SINGLE COMPANION CRYPTS ARE 6' OR 9' X 2.5' X 8'  
9) TANDEM COMPANION CRYPTS ARE 6' OR 9' X 2.5' X 16'  
10) NICHE WALLS ARE 1' X 1' X 1'  
11) PROVIDE GUARDRAIL ALONG ALL THE PERIMETER MIN. 42" HIGH FROM F.G., HANDRAIL MIN. 3" DIA., ANY OPENING MAX. 4"DIA.

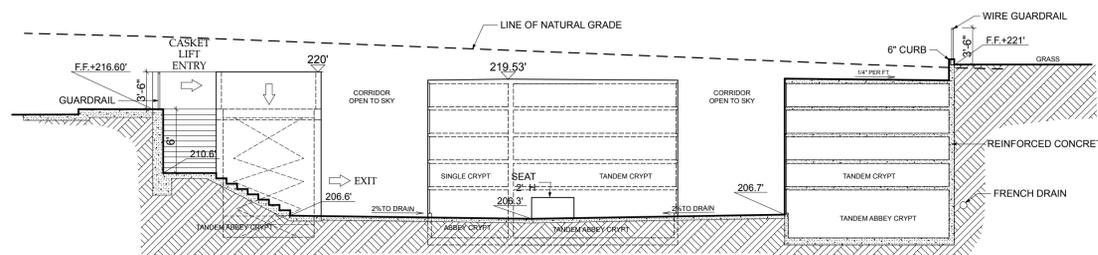


1 ROOF PLAN  
SCALE: 1" = 10'

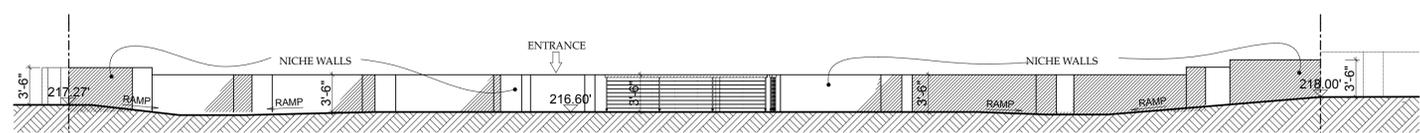


TYP. CORRIDOR NICHE WALL

SECTION B-B (TYP.)



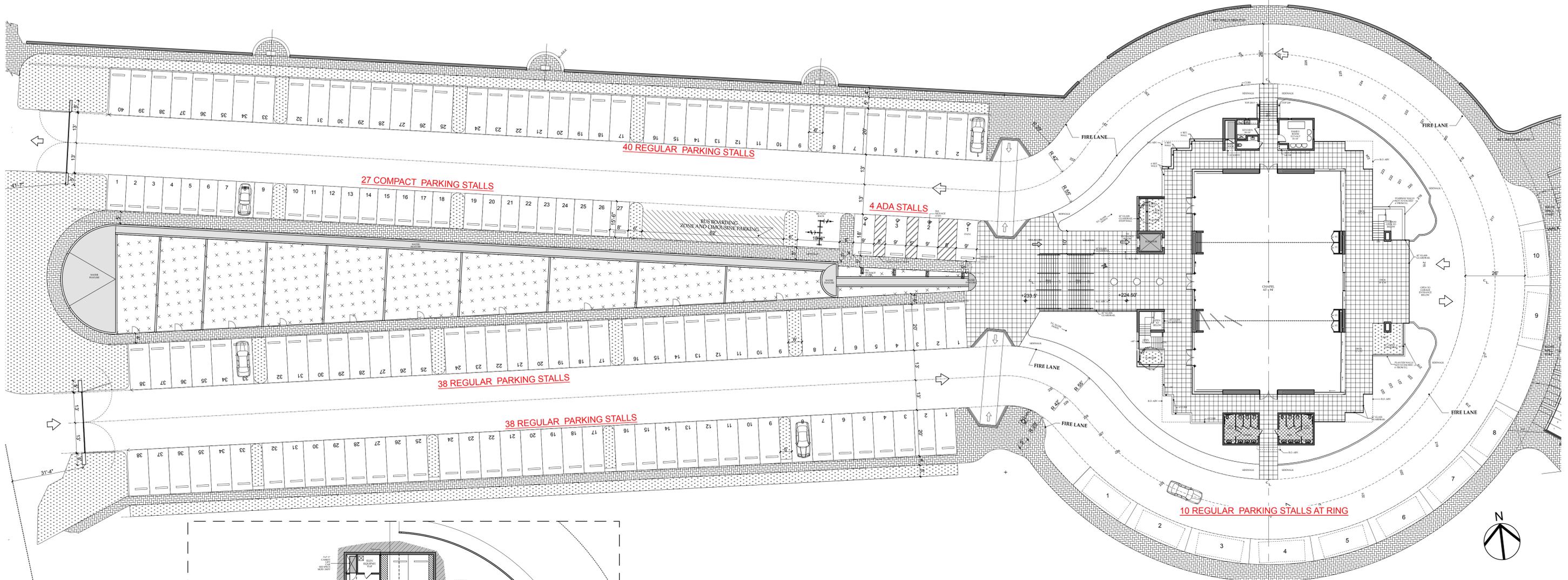
SECTION A-A



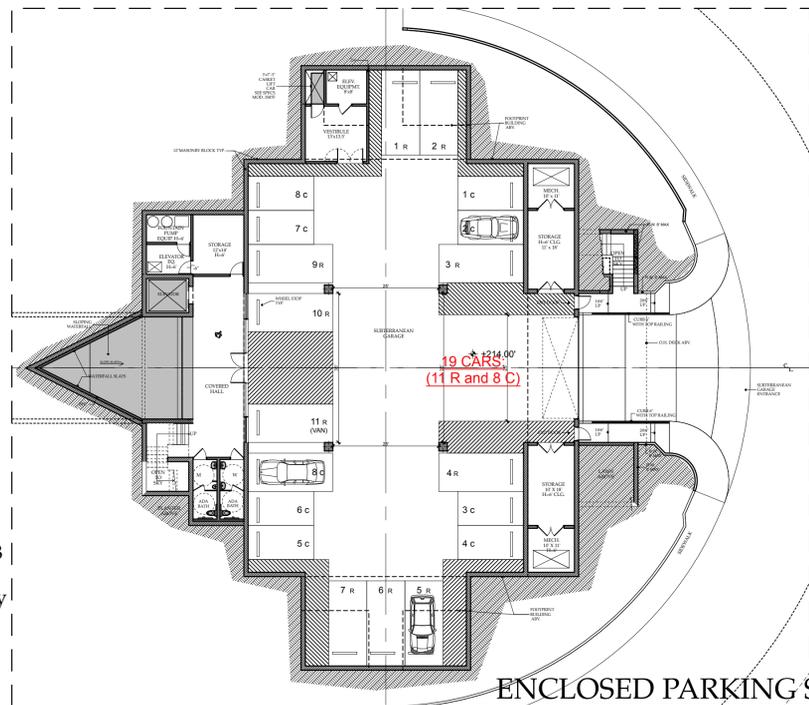
ELEVATION FROM DRIVEWAY AT ENTRANCE

SECTIONS  
SCALE: 1/8" = 1'-0" 2

SCALE: 1/8" = 1'-0" 3



UNENCLOSED PARKING STALLS  
SCALE: 1" = 20' 1



ENCLOSED PARKING STALLS  
SCALE: 1" = 20' 2

**REQUIRED PARKING SPACES:**

PER LIP 3.14.3 and 2.1.

Proposed fixed seats in the main Chapel: 392\* ---> 131 stalls (1 space every 3 seats)

Proposed gross floor area outside the main chapel: 2,019 s.f.\*1 ---> 6 stalls (1space every 350 s.f.)

\*1 See Area exhibits sheet A-1.1 and A-1.2

**TOTAL REQUIRED: 137** of which 20% of required parking spaces can be compact - ADA Min required (6)

-Regular: 110  
-Compact: 27

**TOTAL PROPOSED: 176**

-Regular: 137 of which 2 ADA  
-Compact: 35  
-ADA: 4

Enclosed: 8 Compact + 11 Regular of which 2 ADA

Unenclosed: 27 Compact + 126 Regular + 4 ADA\*2

\*2 ADA Accessible Parking Spaces dimensions per CBC 2013 --->(min. 18'x20')

Local Implementation Plan

**3.14. PARKING REGULATIONS**  
**3.14.3 Specific Parking Requirements**  
**Places of Assembly and Recreational Uses**

Chapels, mortuaries or funeral homes

1 space for each 3 fixed seats or for every 21 square feet of seating area where there are no fixed seats in the main chapel, plus 1 space for each 350 square feet of gross floor area outside the main chapel.

CHAPTER 2—DEFINITIONS

**2.1. GENERAL DEFINITIONS**

**FLOOR AREA, GROSS** - the sum of the gross horizontal areas of the several floors of a building measured from the interior face of exterior walls, or from the centerline of a wall separating two buildings, but not including interior parking spaces, loading space for motor vehicles, vehicular maneuvering areas, or any space where the floor-to-ceiling height is less than six feet.

**NOTE:**  
1. All parking areas shall be surfaces with asphaltic or cement concrete paving which is at least 3 inches thick or permeable paving comparable load carrying capacity and durability.

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**MALIBU MEMORIAL PARK**

4000 Malibu Canyon Road,  
MALIBU,  
CA 90265

**BURDGE & Associates ARCHITECTS**

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TEL: 310-456-5905

480 WASHINGTON AVE.  
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PROJECT: 2550 - Malibu Memorial Park

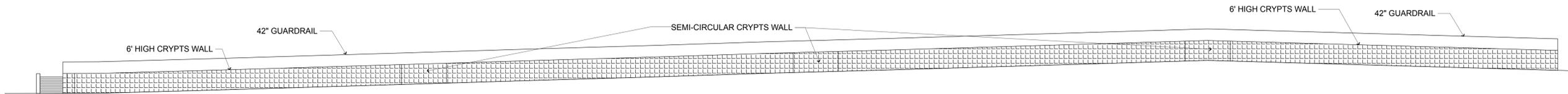
DATE: Plot Date: 4/11/16

DRAWN BY: D.W.B., A.M.,

SCALE: AS SHOWN

DESCRIPTION:  
PARKING LAYOUT

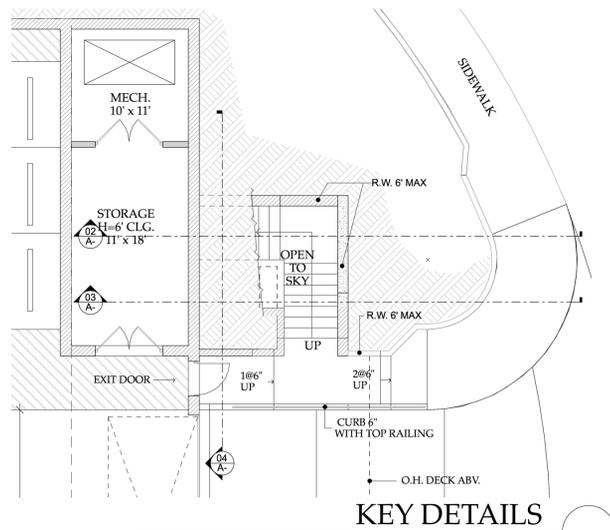
DRAWING NO.  
**A-0.6**



ELEVATION AT 6' HIGH CRYPT WALL

SCALE: 1/16" = 1'-0"

5

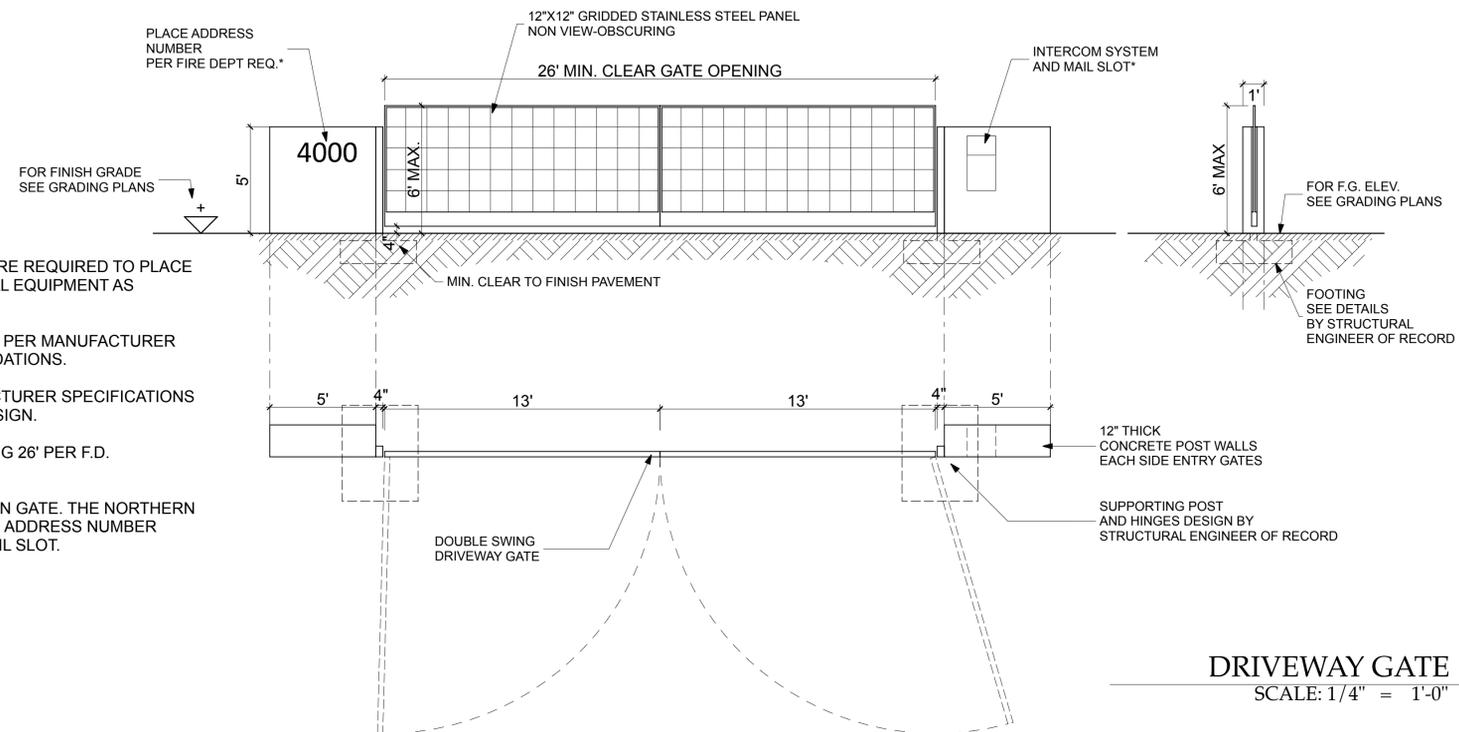


KEY DETAILS

NOTE:

- 1) PROVIDE CONCRETE PAD WHERE REQUIRED TO PLACE GATE OPERATOR AND ELECTRICAL EQUIPMENT AS NEEDED.
- 2) INSTALL GATE AND EQUIPMENT PER MANUFACTURER SPECIFICATION AND RECOMMENDATIONS.
- 3) INSTALL HINGES PER MANUFACTURER SPECIFICATIONS AND STRUCTURAL ENGINEER DESIGN.
- 4) MIN. CLEARANCE GATE OPENING 26' PER F.D. REQUIREMENTS.

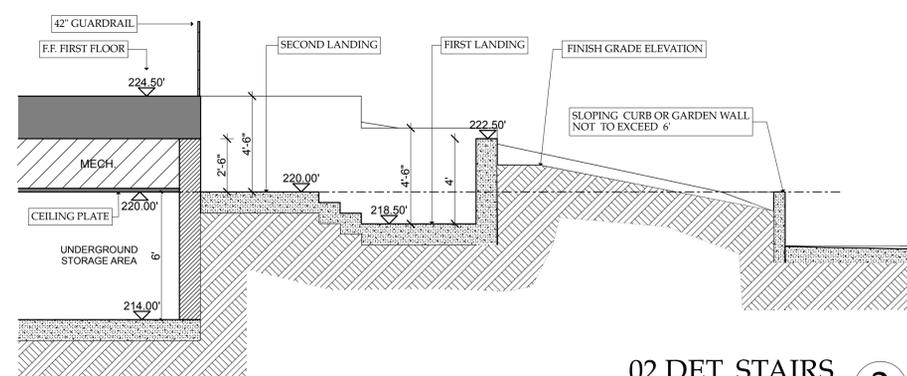
\* ONLY FOR ENTRANCE SOUTHERN GATE. THE NORTHERN EXIT GATE WOULD NOT HAVE THE ADDRESS NUMBER NOR THE INTERCOM SYSTEM /MAIL SLOT.



DRIVEWAY GATE

SCALE: 1/4" = 1'-0"

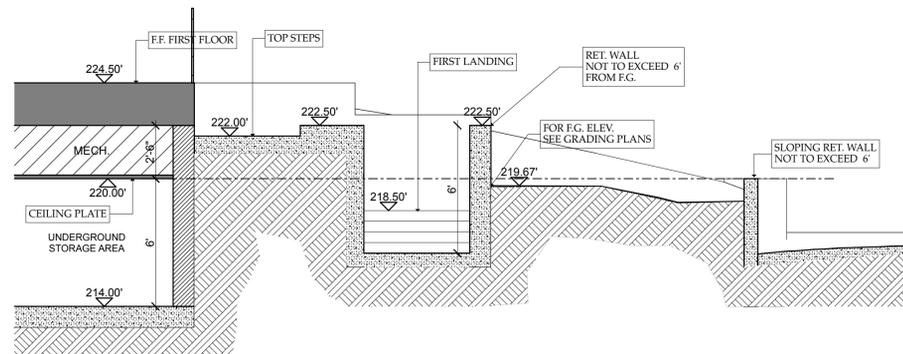
1



02 DET. STAIRS

SCALE: 1/4" = 1'-0"

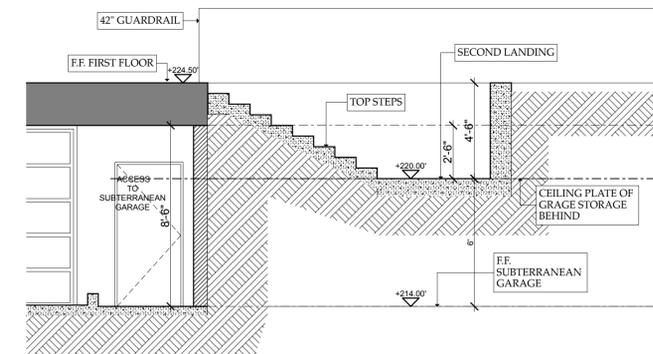
2



03 DET. STAIRS

SCALE: 1/4" = 1'-0"

3



04 DET. STAIRS

SCALE: 1/4" = 1'-0"

4

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TEL: 208-495-3228

DESCRIPTION:

GATE, STAIRS AND  
WALL DETAIL

DRAWING NO. **A-0.7**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.

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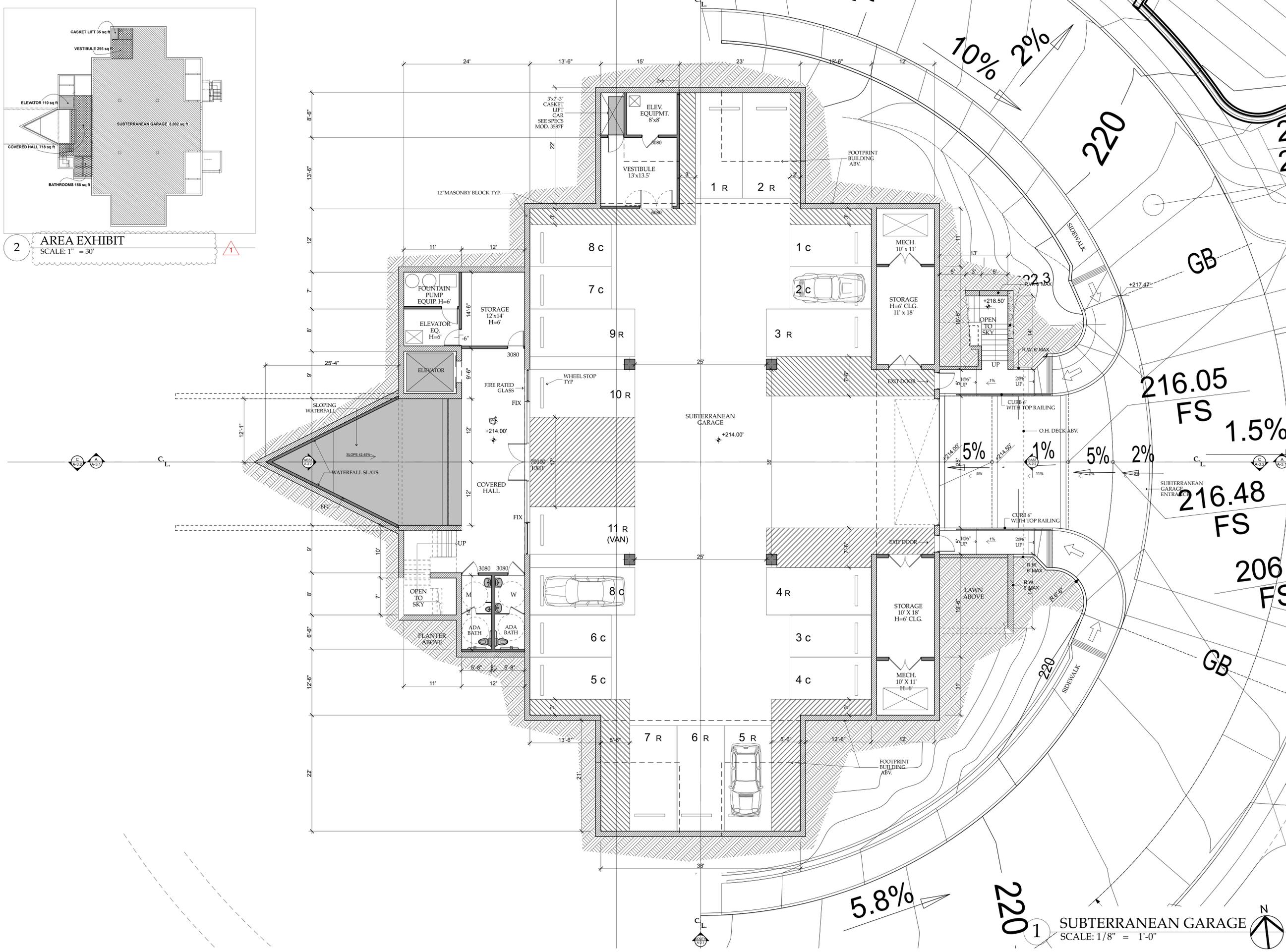
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MALIBU, CA 90265 SUITE 204 C  
TEL. 310-456-5905 KETCHUM, ID 83340  
TEL: 208-495-3228

**DESCRIPTION:**

**BASEMENT FLOOR PLAN**

**DRAWING NO. A-1.1**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



**2 AREA EXHIBIT**  
SCALE: 1" = 30'

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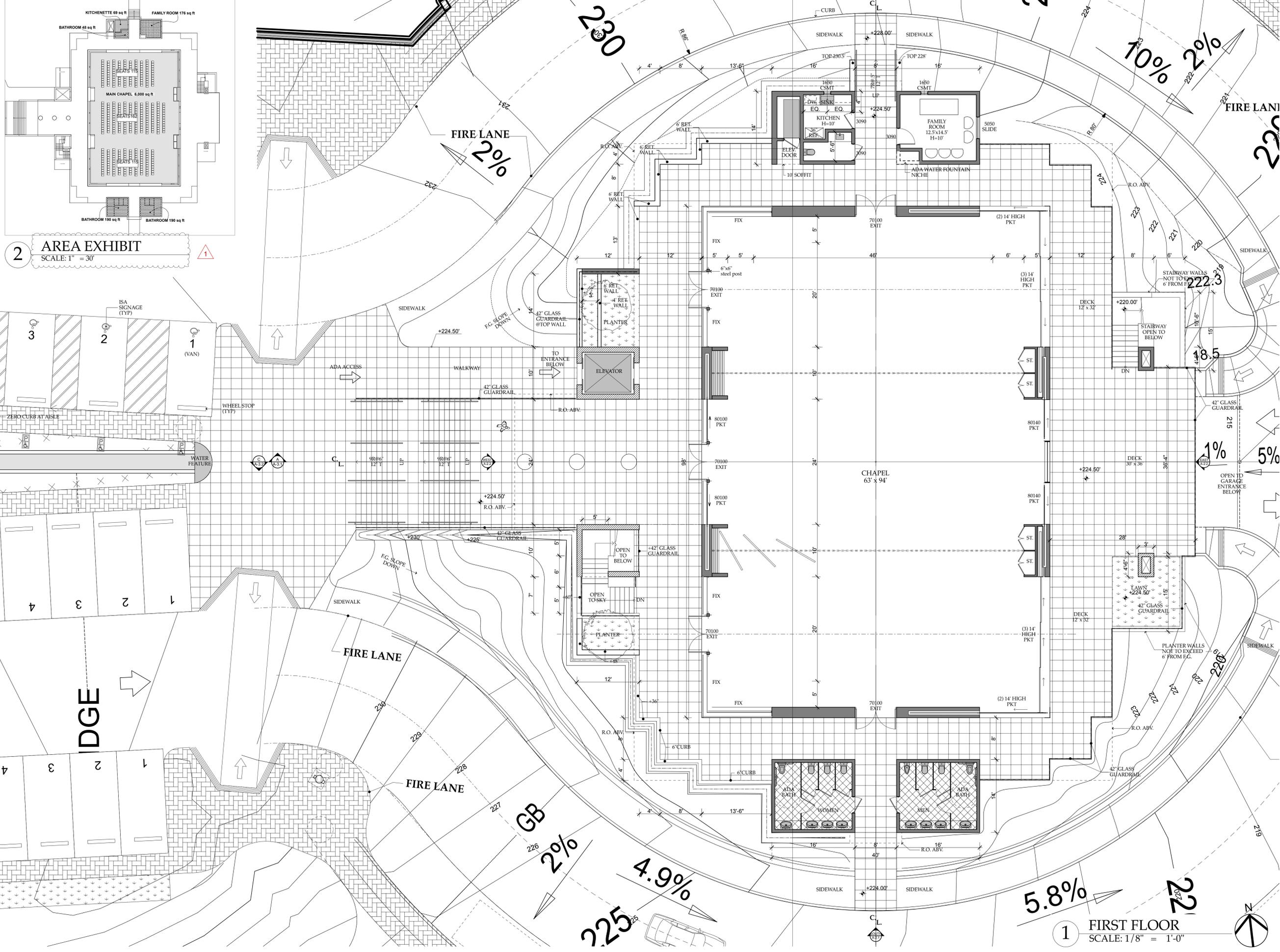
480 WASHINGTON AVE. KETCHUM, ID 83340 TEL: 208-495-3228

DESCRIPTION:

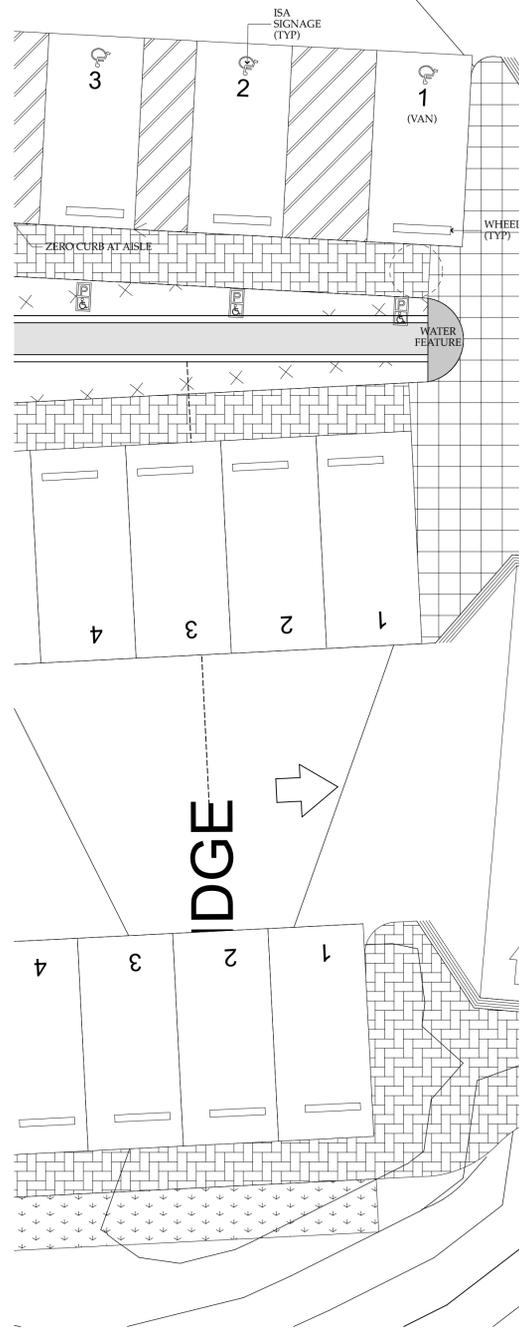
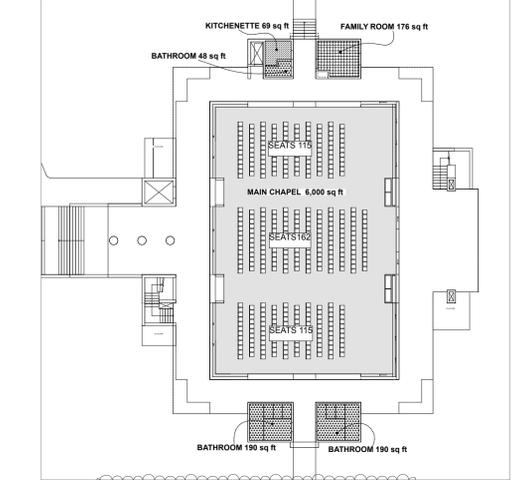
FIRST FLOOR PLAN

DRAWING NO. **A-1.2**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



**2 AREA EXHIBIT**  
SCALE: 1" = 30'



MBP-12\_2016-02-09 plan set based on 4/11/16 BY ANNA MASTICCI

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MEMORIAL  
PARK

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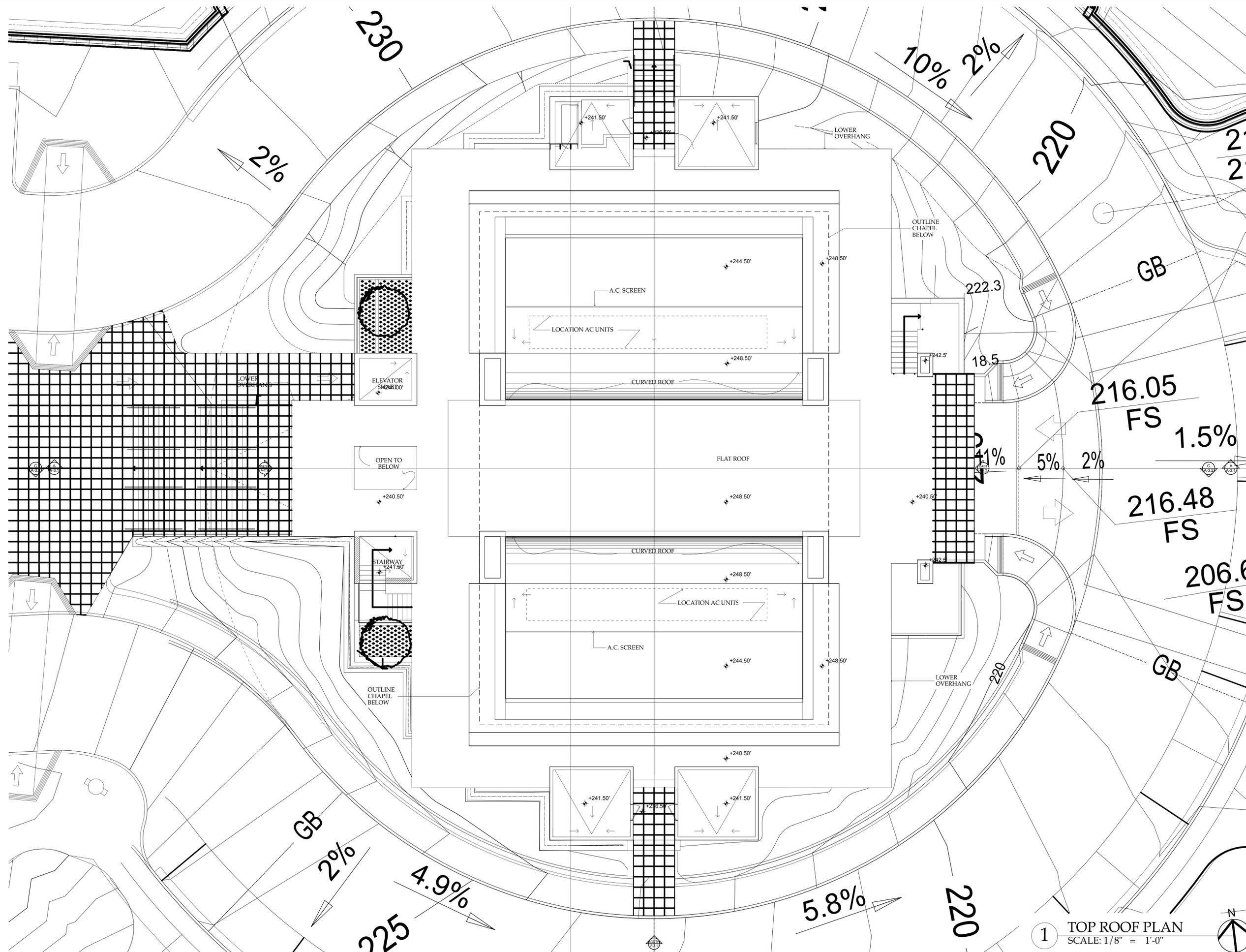
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TEL: 310-456-5905 KETCHUM, ID 83340  
TEL: 208-495-3228

DESCRIPTION:

ROOF PLAN

DRAWING NO.  
**A-1.3**

PROJECT 2550 - Malibu Memorial Park  
DATE Plot Date: 4/11/16  
SCALE AS NOTED  
DRAWN BY D.W.B., A.M.



1 TOP ROOF PLAN  
SCALE: 1/8" = 1'-0"

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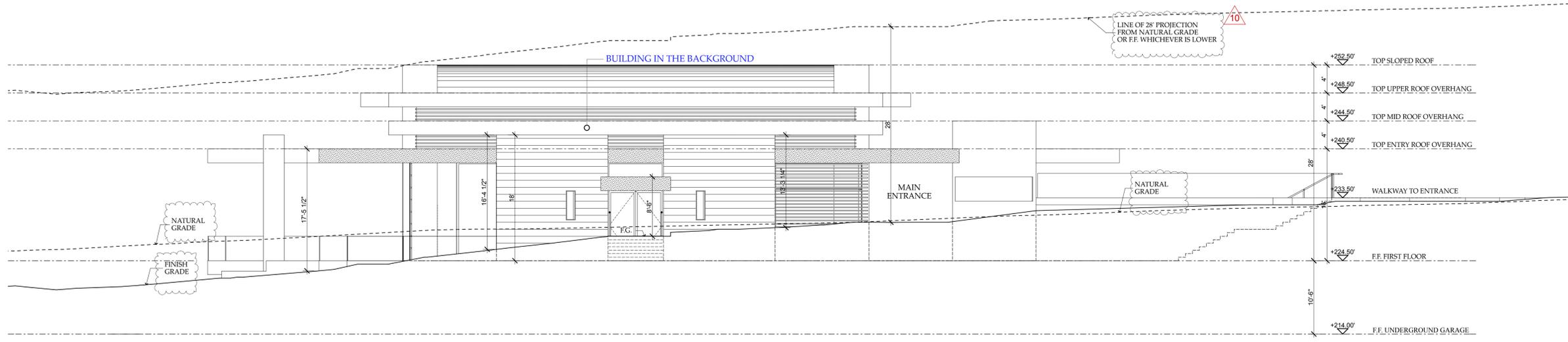
21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905  
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**DESCRIPTION:**

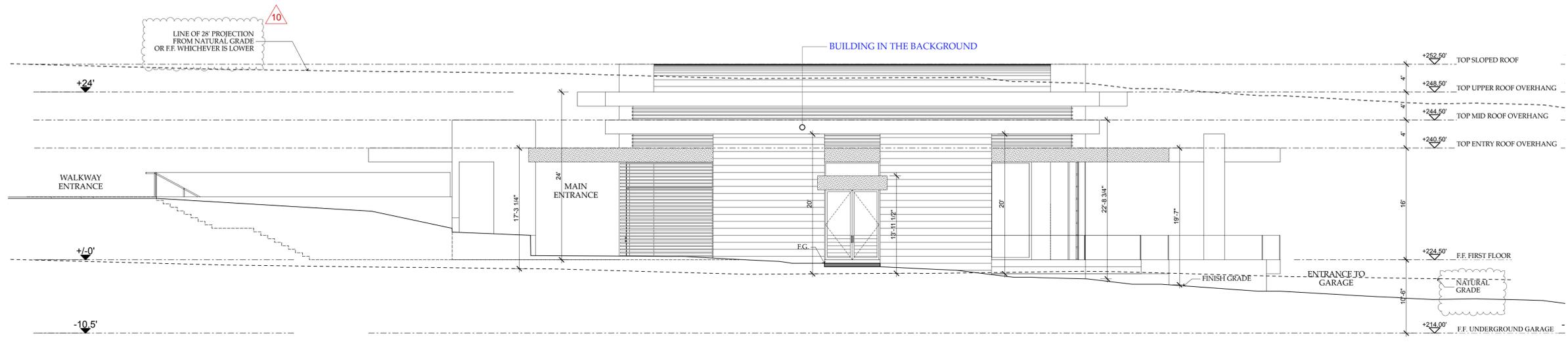
PROPOSED ELEVATIONS NORTH & SOUTH

DRAWING NO. **A-2.1**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.



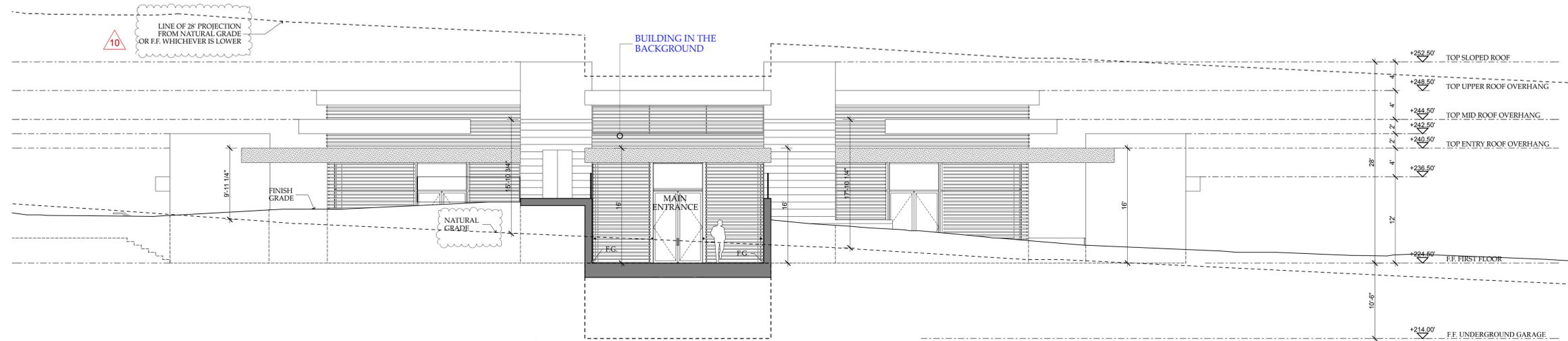
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" **1**



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0" **2**

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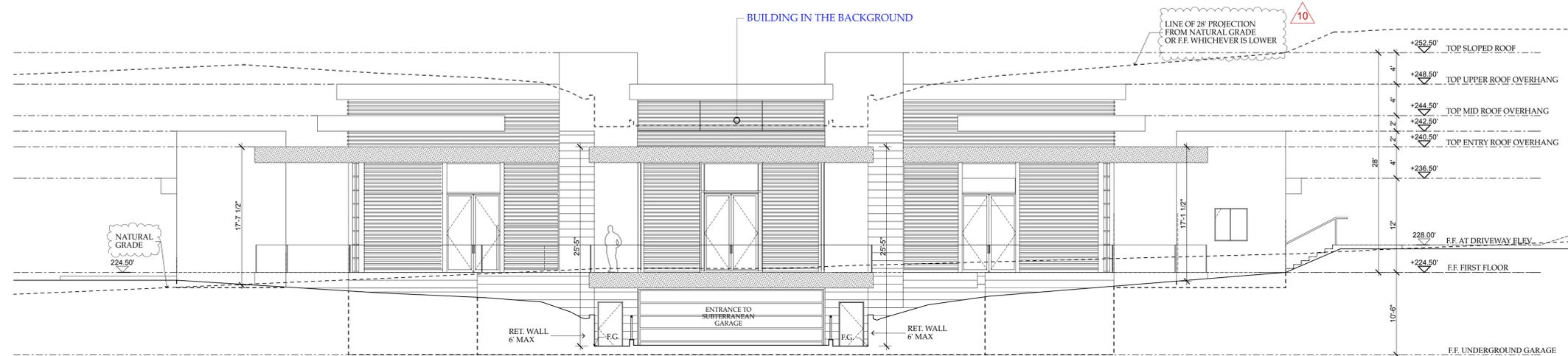


WEST ELEVATION 2  
SCALE: 1/8" = 1'-0"

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EAST ELEVATION 1  
SCALE: 1/8" = 1'-0"

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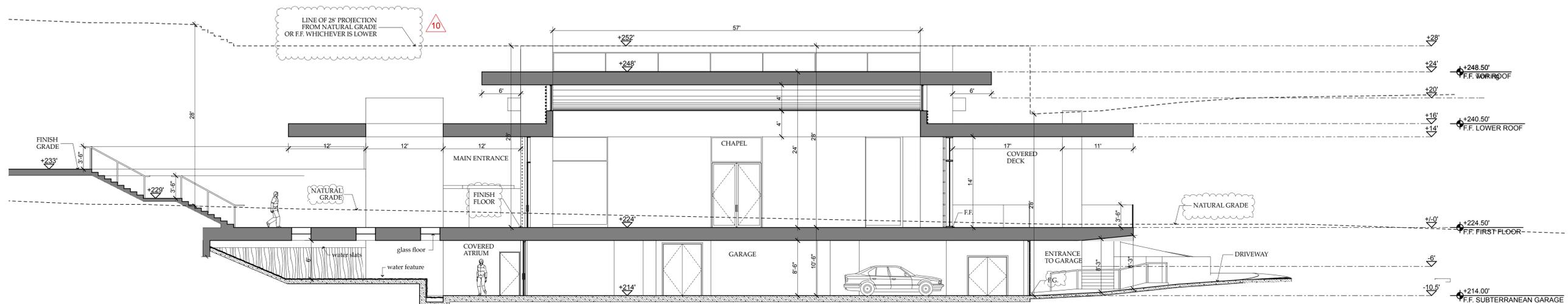
**DESCRIPTION:**  
PROPOSED ELEVATIONS EAST & WEST

**DRAWING NO.**  
**A-2.2**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.

# MALIBU MEMORIAL PARK

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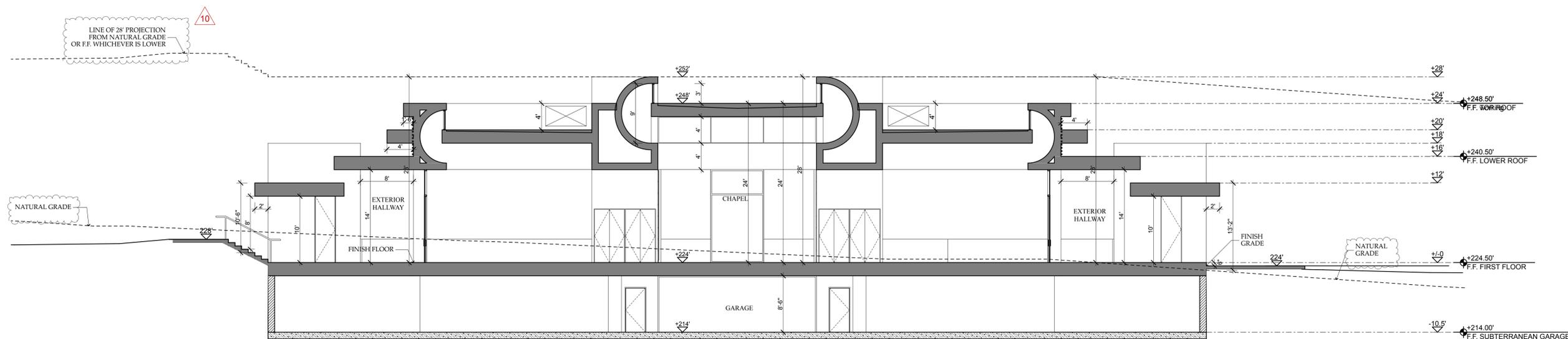
**A-A SECTION**  
SCALE: 1/8" = 1'-0"

1

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**B-B SECTION**  
SCALE: 1/8" = 1'-0"

2

DESCRIPTION:

PROPOSED SECTIONS  
A-A & B-B

DRAWING NO.  
**A-3.1**

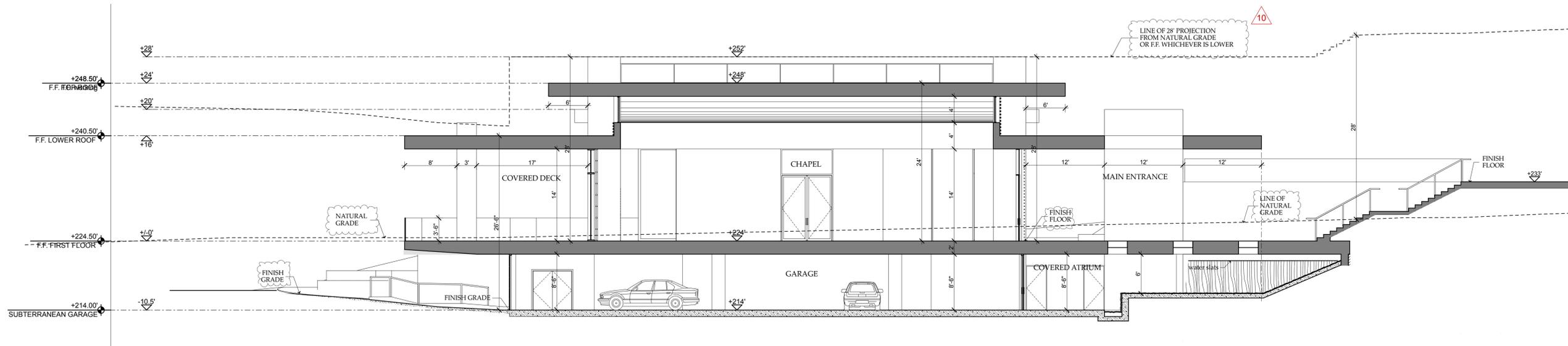
PROJECT	2550 - Malibu Memorial Park
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SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.

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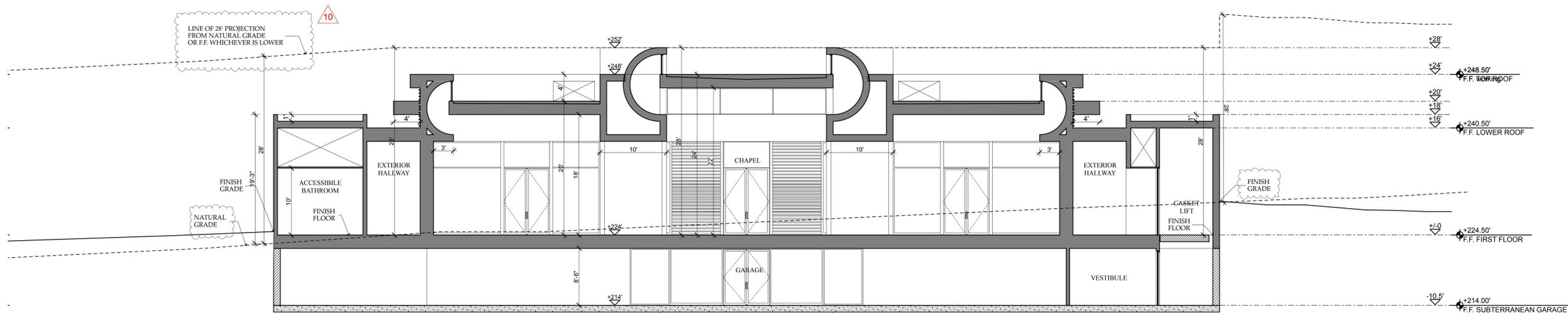


**C-C SECTION**  
SCALE: 1/8" = 1'-0" **1**

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**D-D SECTION**  
SCALE: 1/8" = 1'-0" **2**

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**DESCRIPTION:**

PROPOSED SECTIONS C-C & D-D

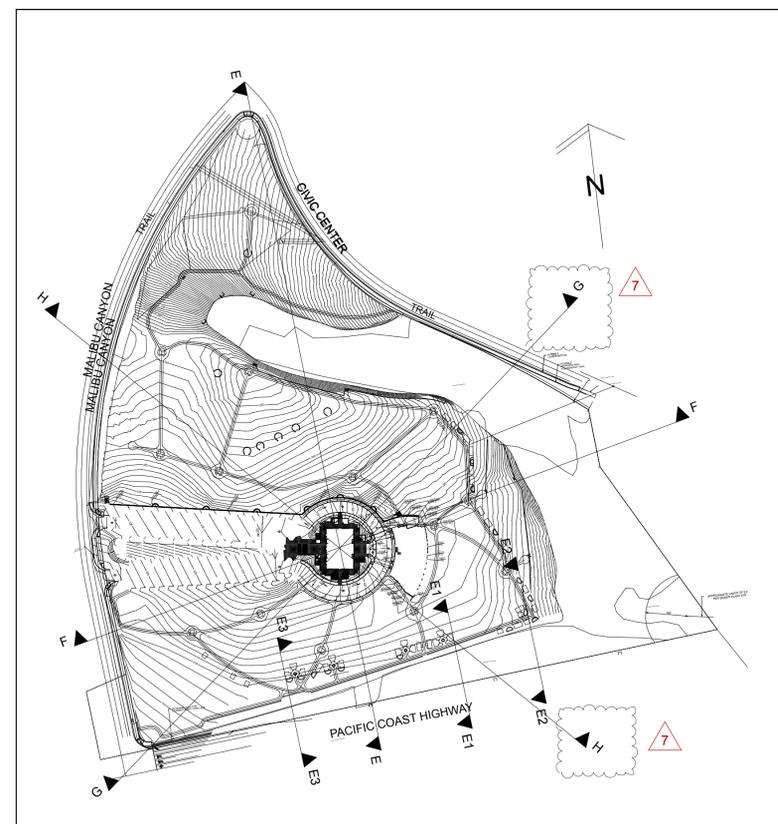
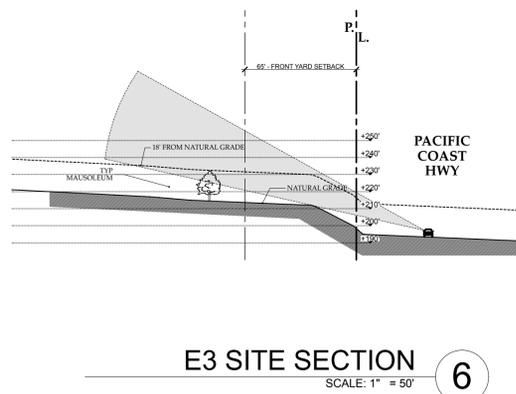
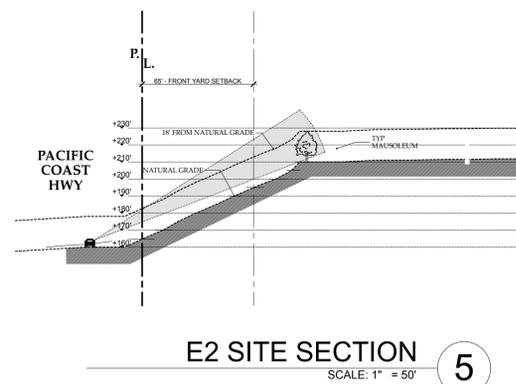
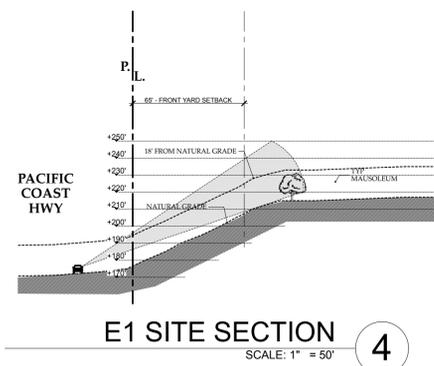
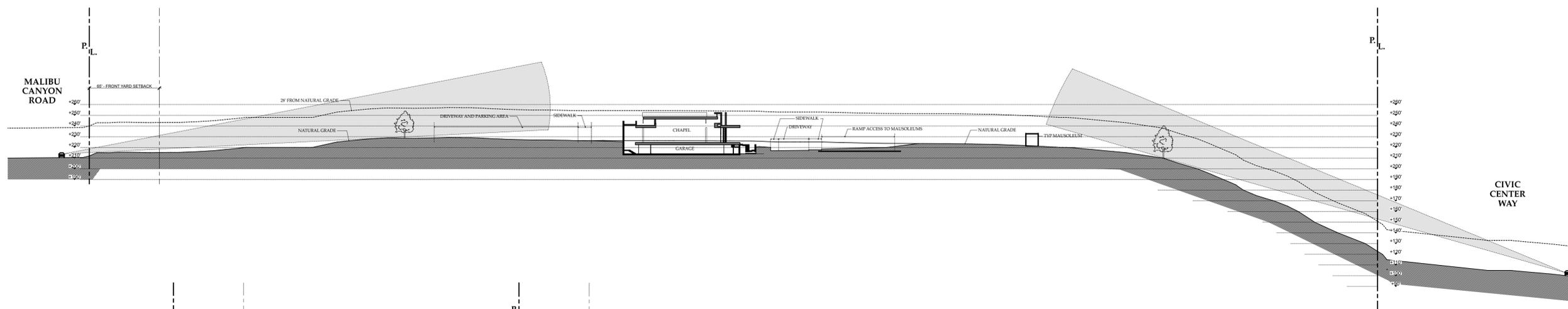
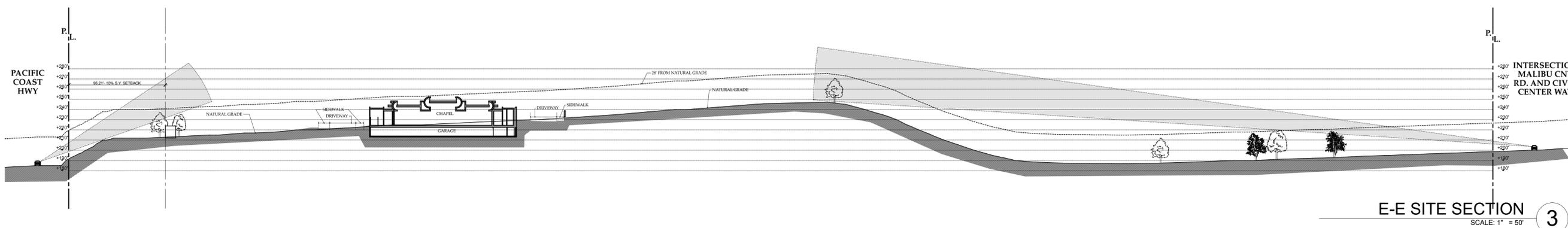
**DRAWING NO.**

## A-3.2

<b>PROJECT</b>	2550 - Malibu Memorial Park
<b>DATE</b>	Plot Date: 4/11/16
<b>SCALE</b>	AS NOTED
<b>DRAWN BY</b>	D.W.B., A.M.

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DESCRIPTION:

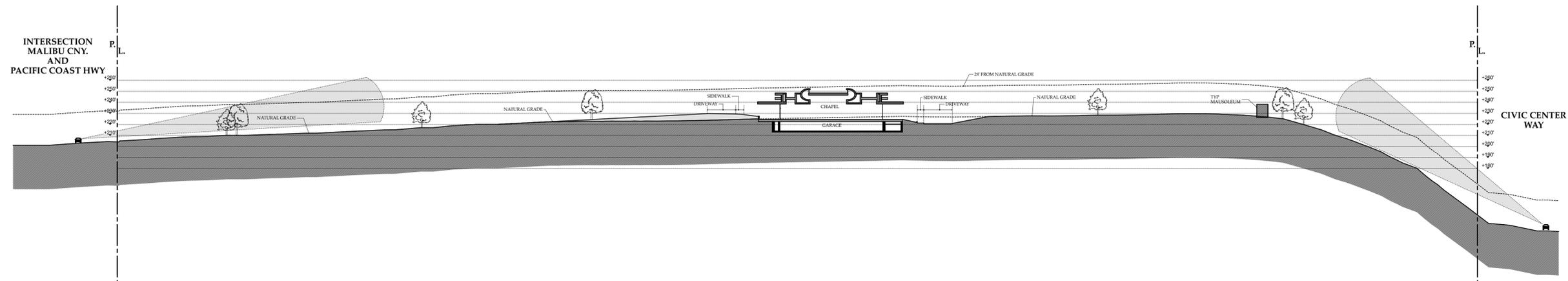
SITE SECTIONS E-E & F-F

DRAWING NO. **A-3.3**

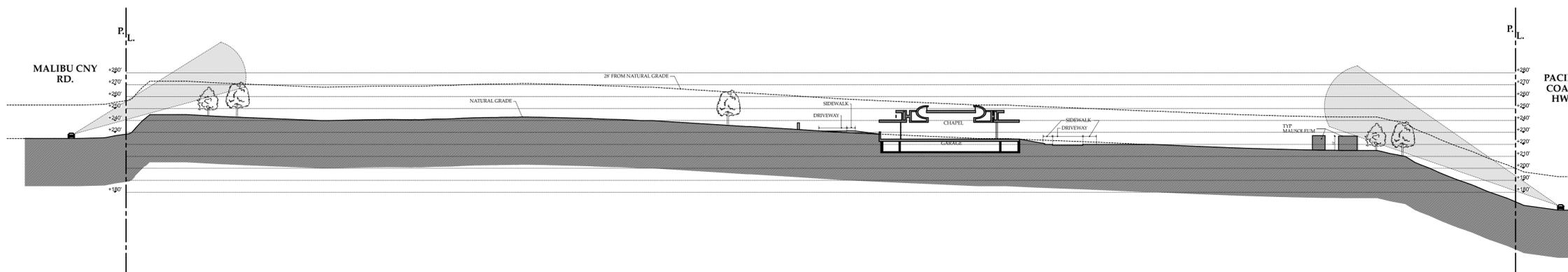
PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.

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**G-G SITE SECTION**  
SCALE: 1" = 50' **1**



**H-H SITE SECTION**  
SCALE: 1" = 50' **2**

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WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

**BURDGE & Associates ARCHITECTS**  
MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-456-5905  
480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-495-3228

**DESCRIPTION:**

SITE SECTIONS G-G & H-H

DRAWING NO. **A-3.4**

PROJECT	2550 - Malibu Memorial Park
DATE	Plot Date: 4/11/16
SCALE	AS NOTED
DRAWN BY	D.W.B., A.M.





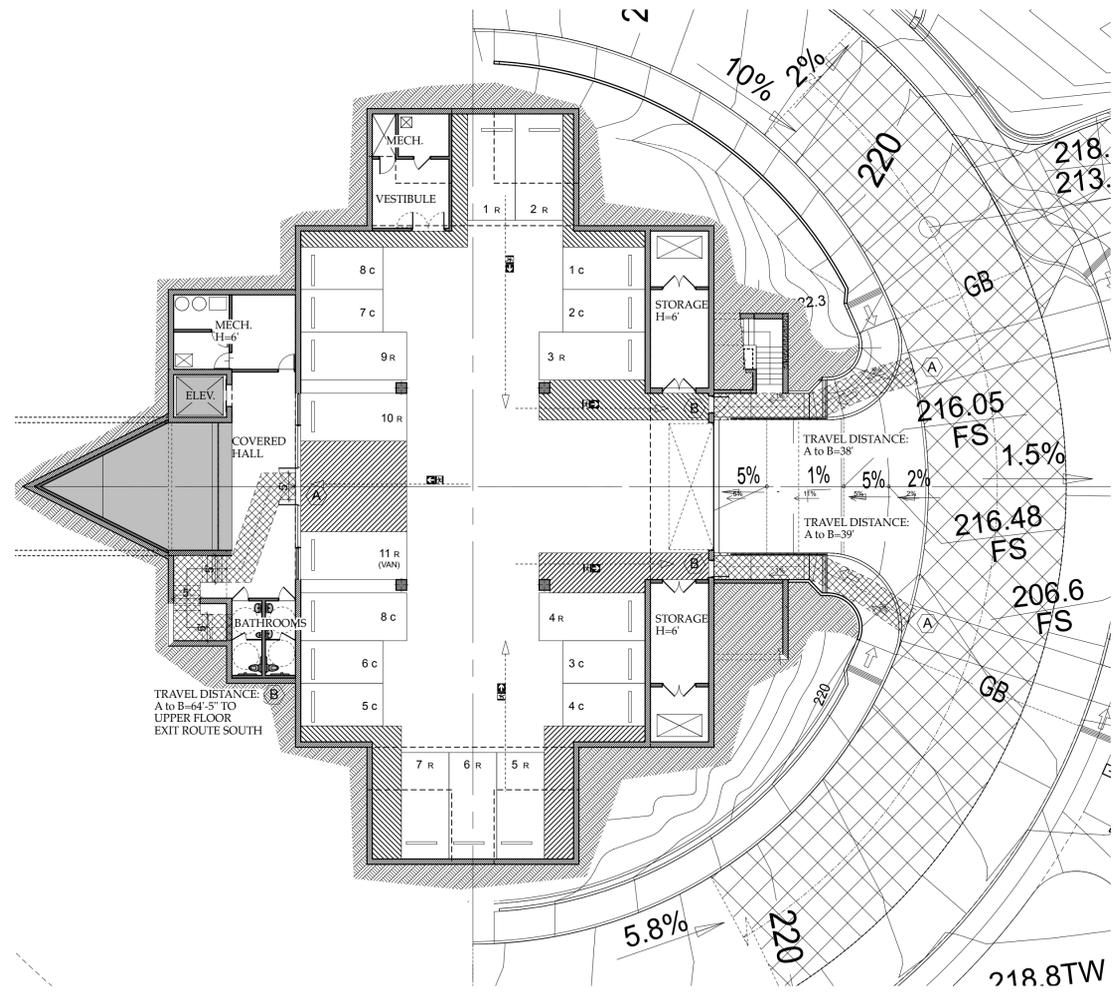
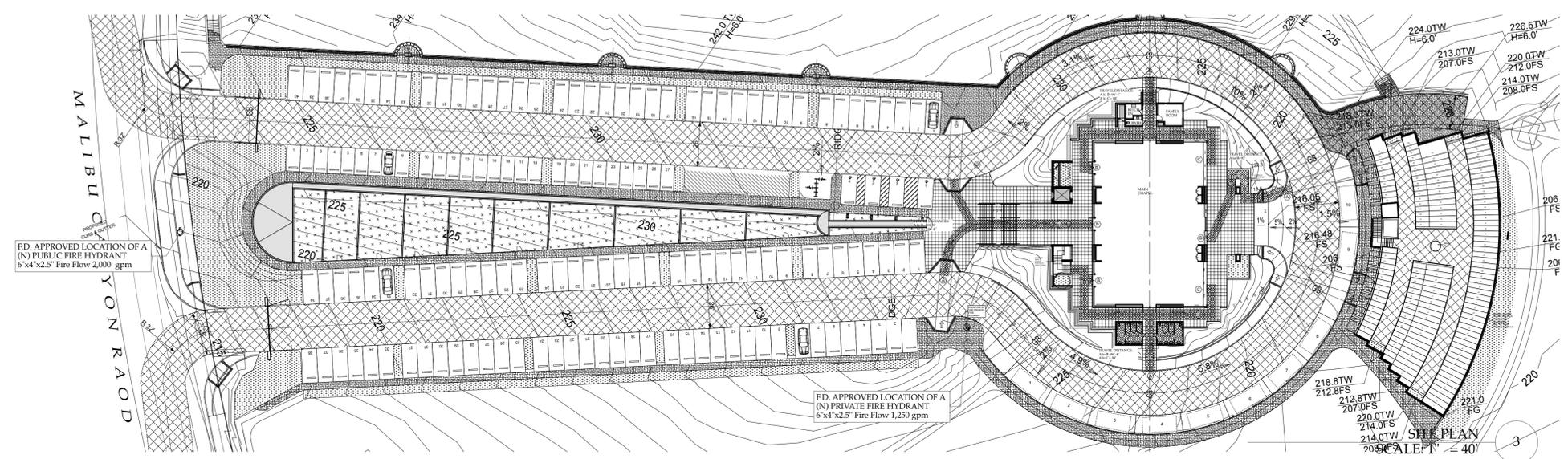
**PROJECT ADDRESS:** 4000 Malibu Canyon Road  
 Malibu, CA 90265  
**A.P.N.:** 4458 030 007- 4458 028 015 - 4458 028 019  
**LCP ZONING:** Pending City determination  
**OWNER:** Green Acres, LLC  
 a California Limited Liability Company  
 22837 Pacific Coast Highway #775, Malibu, CA 90265  
**OCCUPANCY GROUP:** See chart below. **TYPE OF CONSTRUCTION:** VB  
**NUMBER OF STORIES:** Chapel 1 + Subterranean garage, Mausoleum 1  
**FIRE ZONE:** VHFHSZ  
**SPRINKLERED:** YES (Sprinklered per L.A.Co. Fire Departments Requirement)  
**LOT AREA:** Gross: 1,228,908 Sq.Ft. (28.2 Acres)  
 Net.: 1,210,968 Sq.Ft. (27.8 Acres)

**FIRE DEPT. NOTES:**  
 1) Provide approved signs or other approved notices or markings that include the words NO PARKING - FIRE LANE. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. Signs shall be provided for fire apparatus access roads, to clearly indicate the entrance for such road or prohibit the obstruction thereof and at intervals, as required by Fire Inspector. Fire Code 503.3  
 2) When security gates are provided, maintain a minimum access width of 26 feet. The security gate shall be provided with an approved means of emergency operation, and shall be maintained operational at all time and replaced or repaired when defective. Electric gate operators, where provided, shall be constructed and installed to comply with the requirements of ASTM F220. Gates shall be of the swinging or sliding type. Construction of gates shall be of materials that allow manual operation by one person. Fire Code 503.6  
 3) Fire Flow requirements calculation:  
 Type of construction: per Building Code: Type VB  
 Fire flow calculation area: Area 17,000 sq.ft.  
 Fire flow based on the fire flow calculation area: 3,500 gpm  
 Reductions for fire sprinklers (maximum 50%): 1,500 gpm  
 Total fire flow required: 2,000 gpm  
 4) Provide an approved automatic fire sprinkler system as set forth by Building Code 903 and Fire Code 903. Plans shall be submitted to the Sprinkler Plan Check Unit for review and approval prior installation.  
 Reason fire Code 903 & fire flow reduction  
 Type of fire sprinkler system 903.3.1.1, 903.3.1.2, 903.3.1.3

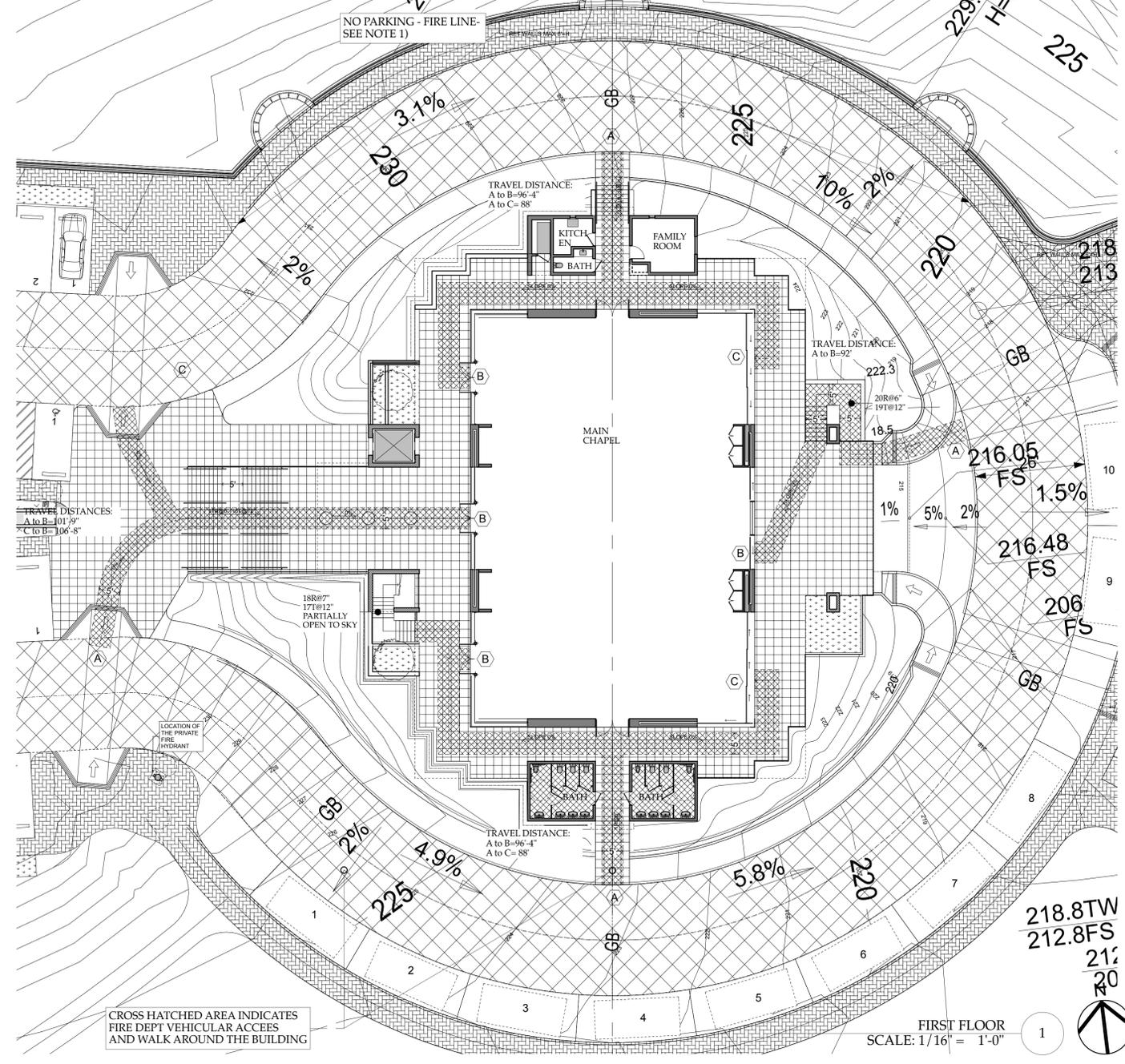
**Occupancy classifications [CBC Chapter 3. Building Code 302.1]:**

A-3	Main Chapel	6,566 S.F.
A-3	Accessory rooms: Family, Kitchen, Vestibule Bathrooms Covered hall	516 S.F. 691 S.F. 718 S.F. 914 S.F.
S-1	Storages H=6'	384 S.F.
S-2	Mechanical rooms & elevators	8,037 S.F.
S-2	Subterranean Garage	

Detached Buildings:  
 U 48 free-standing Mausoleums of average 187 Sq.Ft. each. Tot. 9,000 S.F.



SUBTERRANEAN GARAGE  
 SCALE: 1/16" = 1'-0"



CROSS HATCHED AREA INDICATES  
 FIRE DEPT VEHICULAR ACCESSES  
 AND WALK AROUND THE BUILDING

FIRST FLOOR  
 SCALE: 1/16" = 1'-0"

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
 MALIBU,  
 CA 90265

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NO	DATE	ISSUE
1	2015-4-28	INITIAL PLANNING SUBMITTAL
2	2015-11-18	INCOMPLETE LETTER #1 CORRECTIONS
3	2016-02-12	INCOMPLETE LETTER #2 CORRECTIONS
4	2016-04-14	INCOMPLETE LETTER #3 CORRECTIONS

**BURDGE & Associates ARCHITECTS**  
 MALIBU SUN VALLEY WWW.BUAIA.COM

21235 PACIFIC COAST HWY. MALIBU, CA 90265 TEL: 310-458-5905  
 480 WASHINGTON AVE. SUITE 204 C KETCHUM, ID 83340 TEL: 208-495-3228

**DESCRIPTION:**  
 FIRE DEPARTMENT ACCESS

**DRAWING NO. FD-01**

**PROJECT:** 2550 - Malibu Memorial Park  
**DATE:** Plot Date: 4/11/16  
**SCALE:** AS NOTED  
**DRAWN BY:** D.W.B., A.M.







MATCHLINE TO RIGHT

MATCHLINE TO LEFT

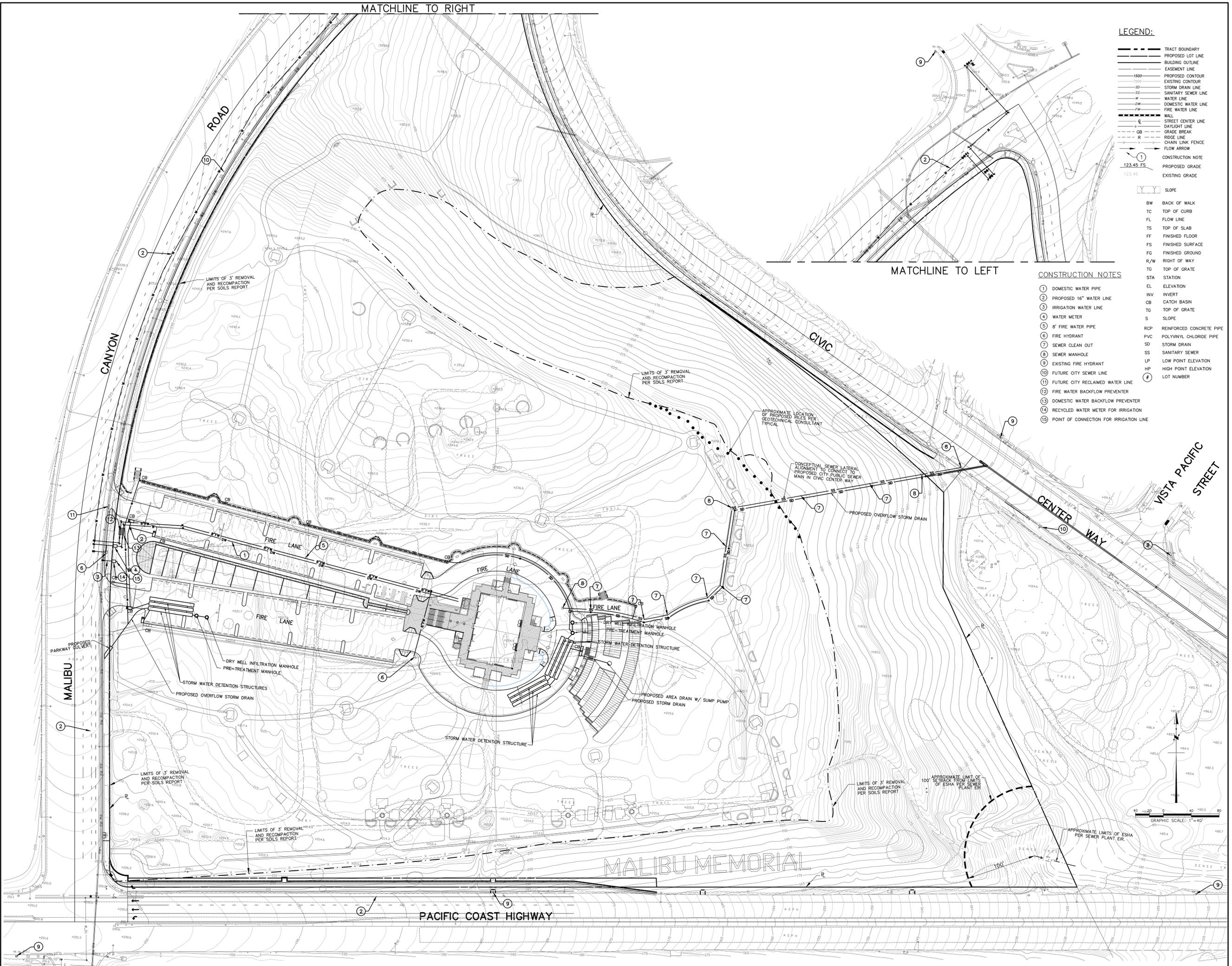
LEGEND:

- TRACT BOUNDARY
- PROPOSED LOT LINE
- BUILDING OUTLINE
- EASEMENT LINE
- 1500 --- PROPOSED CONTOUR
- 1000 --- EXISTING CONTOUR
- SD --- STORM DRAIN LINE
- SS --- SANITARY SEWER LINE
- W --- WATER LINE
- DW --- DOMESTIC WATER LINE
- FW --- FIRE WATER LINE
- WALL
- STREET CENTER LINE
- DAYLIGHT LINE
- GB --- GRADE BREAK
- R --- RIDGE LINE
- CHAIN LINK FENCE
- FLOW ARROW
- 1 --- CONSTRUCTION NOTE
- 123.45 FS --- PROPOSED GRADE
- 123.45 --- EXISTING GRADE

- SLOPE
- BW --- BACK OF WALK
- TC --- TOP OF CURB
- FL --- FLOW LINE
- TS --- TOP OF SLAB
- FF --- FINISHED FLOOR
- FS --- FINISHED SURFACE
- FG --- FINISHED GROUND
- R/W --- RIGHT OF WAY
- TG --- TOP OF GRATE
- STA --- STATION
- EL --- ELEVATION
- INV --- INVERT
- CB --- CATCH BASIN
- TC --- TOP OF GRATE
- S --- SLOPE
- RCP --- REINFORCED CONCRETE PIPE
- PVC --- POLYVINYL CHLORIDE PIPE
- SD --- STORM DRAIN
- SS --- SANITARY SEWER
- LP --- LOW POINT ELEVATION
- HP --- HIGH POINT ELEVATION
- ⑧ --- LOT NUMBER

CONSTRUCTION NOTES

- 1 DOMESTIC WATER PIPE
- 2 PROPOSED 16" WATER LINE
- 3 IRRIGATION WATER LINE
- 4 WATER METER
- 5 8" FIRE WATER PIPE
- 6 FIRE HYDRANT
- 7 SEWER CLEAN OUT
- 8 SEWER MANHOLE
- 9 EXISTING FIRE HYDRANT
- 10 FUTURE CITY SEWER LINE
- 11 FUTURE CITY RECLAIMED WATER LINE
- 12 FIRE WATER BACKFLOW PREVENTER
- 13 DOMESTIC WATER BACKFLOW PREVENTER
- 14 RECYCLED WATER METER FOR IRRIGATION
- 15 POINT OF CONNECTION FOR IRRIGATION LINE



REVISIONS	
1	20160216
2	20160216
3	20160216

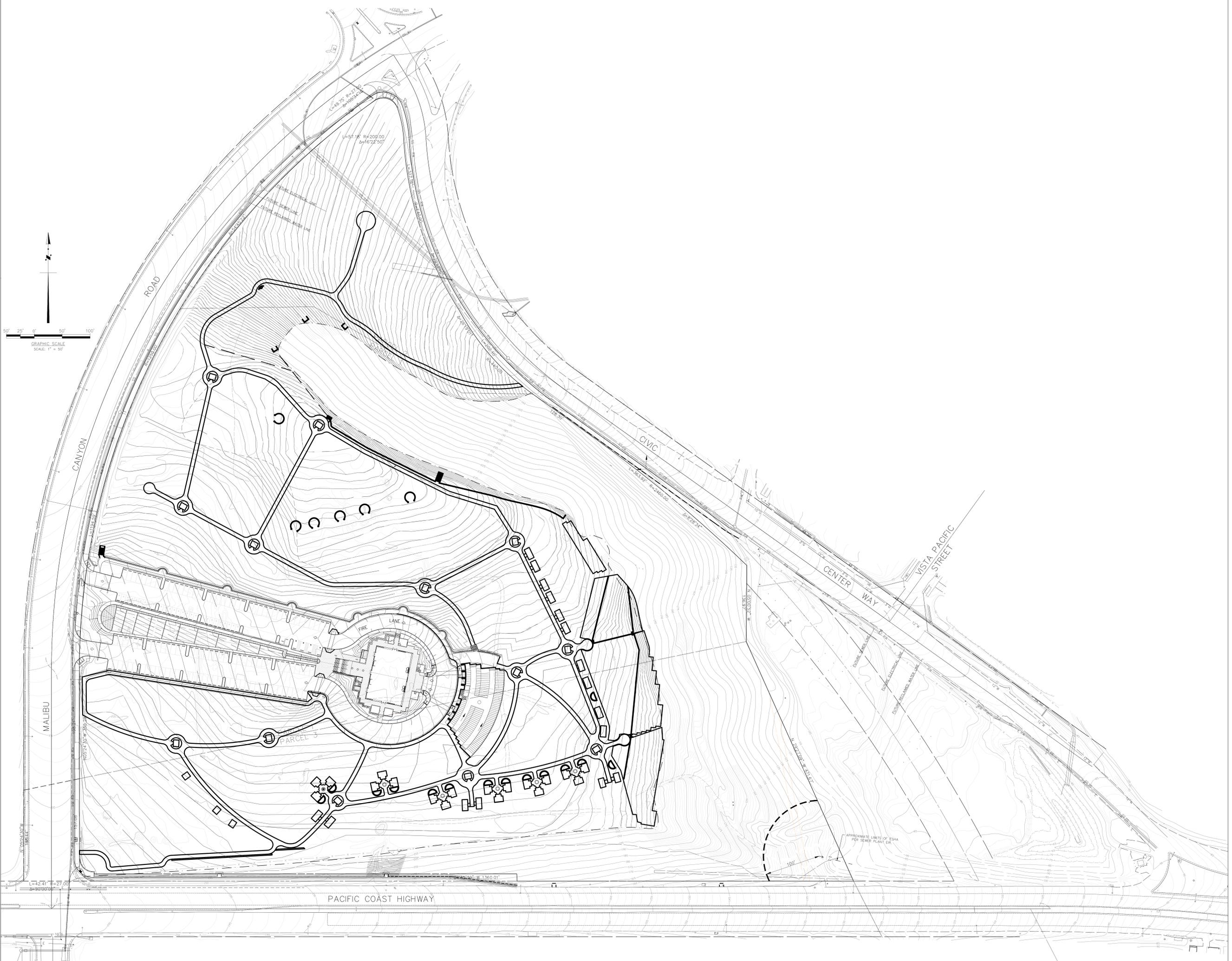
MALIBU MEMORIAL PARK  
 4000 Malibu Canyon Road  
 Malibu CA, 90265

**PSOMAS**  
 555 South Flower Street, Suite 4300  
 Los Angeles, CA 90071  
 (213) 223-1400 (213) 223-1444 fax  
 www.psomas.com



**SEWER AND WATER PLAN**

DATE:	09/02/2016
SCALE:	As Noted
DRAWN BY:	D.R.Z.
JOB No.:	10R221010
SHEET:	C3.0
OF 4 SHEETS	



REVISIONS	
1	10/16/2016 2ND INCOMPLETE LETTER RESPONSE
2	04/14/2016 2ND INCOMPLETE LETTER RESPONSE
3	04/03/2016 REVISION TO CAP AND WELDED AREA

MALIBU MEMORIAL PARK  
 4000 Malibu Canyon Road  
 Malibu CA, 90265

**PSOMAS**  
 555 South Flower Street, Suite 4300  
 Los Angeles, CA 90071  
 (213) 223-1400 (213) 223-1444 fax  
 www.psomas.com

**RE-SITED MAUSOLEUM  
 PLAN**

DATE: 10/28/2016  
 SCALE: As Noted  
 DRAWN BY: D.R.Z.  
 JOB No.: 10RE220100  
 SHEET  
**C5.0**  
 OF SHEETS



[place]



OVERALL SITE PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	AREA	SPACING	QTY	WUCOLS
<b>TREES</b>							
[Symbol]	Quercus Agrifolia	Coast Live Oak	48" BOX	-		56	LVL
[Symbol]	Arbutus 'Marina'	Marina Strawberry Tree	48" BOX	-		25	M/L
[Symbol]	Juglans californica var. californica	California walnut	24" BOX	-		38	L
[Symbol]	Platanus racemosa	California Sycamore	60" BOX	-		14	M/L
[Symbol]	Sambucus mexicana	Mexican Elderberry	48" BOX	-		16	L
<b>PLANTING</b>							
[Symbol]	Pentagramma triangularis	Goldback fern	5 GAL	120 sf	24" O.C.	24	L
[Symbol]	Adiantum jordanii	California maiden hair fern	1 GAL	26,100 sf	24" O.C.	48	L
[Symbol]	Myrica californica	Pacific Wax Myrtle	15 GAL	26,100 sf	30" O.C.	3084 SF	L
[Symbol]	Heteromeles arbutifolia	Toyon	15 GAL	26,100 sf	1500 SF	1500 SF	L
[Symbol]	Buxus microphylla japonica	Japanese Boxwood	15 GAL	3160 sf	15" O.C.	2828	M/H
[Symbol]	Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush 'Pigeon Point'	5 GAL	222,270 sf	3" O.C.	965	LVL
[Symbol]	Arctostaphylos 'Pacific Mist'	Manzanita w/ White Flowers	5 GAL	222,270 sf	3" O.C.	965	LVL
[Symbol]	Ceanothus griseus horizontalis	California Lilac	5 GAL	222,270 sf	3" O.C.	965	LVL
[Symbol]	Nassella cernua	Nodding Grass	1 GAL				
[Symbol]	Rhamnus californica	California Coffeeberry	15 GAL	9575 sf	6" O.C.	45	M/L
[Symbol]	Encelia californica	California bush sunflower	5 GAL	9575 sf	4" O.C.	82	M
[Symbol]	Myrtus communis 'Compacta'	Dwarf Myrtle	15 GAL	9575 sf	2" O.C.	330	M
[Symbol]	Trichostema lanatum	Woolly Blue Curfs	5 GAL	9575 sf	2" O.C.	330	L
[Symbol]	Zauschneria	California Fuchsia	1 GAL	9575 sf	1" O.C.	1325	L
[Symbol]	Elymus glaucus	Western Wild Rye	5 GAL	9575 sf	2" O.C.	330	M/L
[Symbol]	Sisyrinchium bellum	Blue-eyed Grass	1 GAL	9575 sf	18" O.C.	588	M
[Symbol]	Agrostis pallens	Native Bent Grass	SOD	448,700 sf		448,700 sf	L2
[Symbol]	Water feature			2083 sf		2083 sf	
TOTAL LANDSCAPE AREA:						712,008 SF	

(pacific landscape and architectural collaborative)  
324 sunset avenue suite e venice ca 90291  
310 450 8100 fax 310 450 8144

CONSULTANTS

LANDSCAPE SITE PLAN

KEY PLAN

- ALL IRRIGATION WILL BE FROM NON-POTABLE RECYCLED WATER
- THE IRRIGATION PLANS SHALL COMPLY WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE PER SECTION MMC 9.22.080.

MALIBU MEMORIAL PARK

Malibu, CA

Project # :	1430	Ref. North
Drawn by :	GS	[North Arrow]
Scale :	1"=20'-0"	
Description:	Date:	No.
RESUBMITTAL	10.29.15	#
	11.20.15	
	02.12.16	
	04.14.16	
RESUBMITTAL	05.24.16	

PROJECT NO: 1430  
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SHEET TITLE:  
LANDSCAPE SITE PLAN  
L-2.0

NOT FOR CONSTRUCTION

[pakshong landscape and architectural collaborative]  
324 sunset avenue suite e venice ca 90291  
310 450 8100 fax 310 450 8144

CONSULTANTS

LANDSCAPE SITE PLAN

KEY PLAN

MALIBU MEMORIAL PARK

Malibu, CA

Project #: 1430  
Drawn by: GS  
Scale: SEE DRAWING

Ref. North



Description:	Date:	No.:
-	10.29.15	#
RESUBMITTAL	11.20.15	
	02.12.16	
	04.14.16	

PROJECT NO: 1430

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SHEET TITLE:

WATER RILLE  
PLAN AND ELEVATIONS

L-2.2



PERSPECTIVE SCALE: NTS

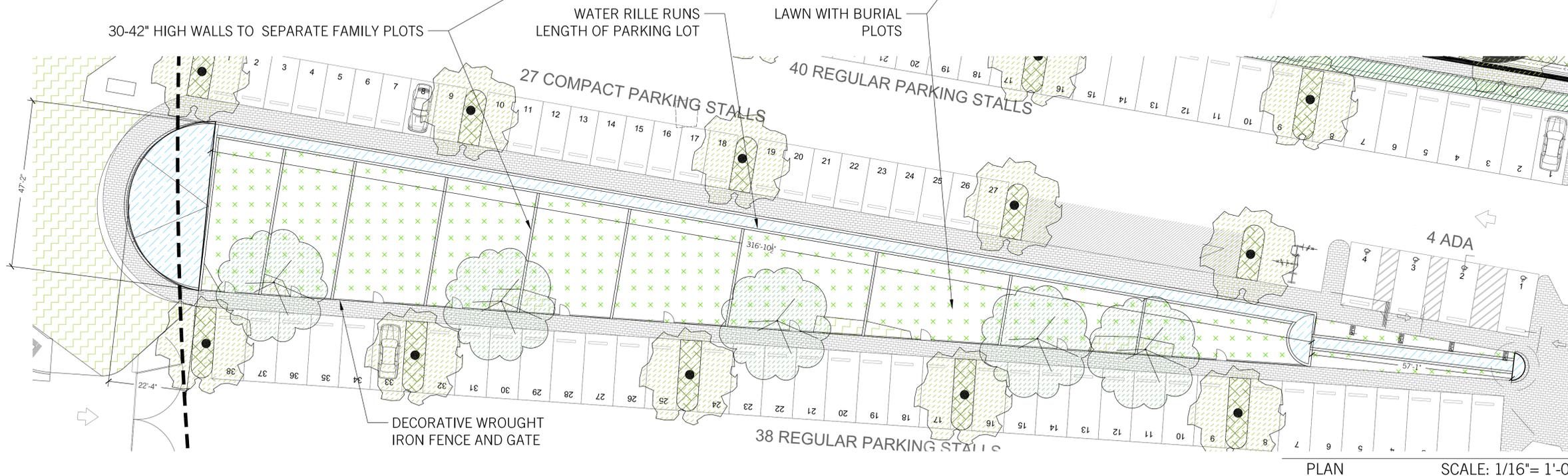


SECTION SCALE: 1/8" = 1'-0"

FOUNTAIN, VISIBLE FROM STREET  
6'-0" RETAINING WALL BEYOND  
WATER RILLE



ELEVATION SCALE: 1/16" = 1'-0"



(pakhshong landscape and architectural collaborative)  
324 sunset avenue suite e venice ca 90291  
310 450 8100 fax 310 450 8144

- \*Tree Species
- Coast Live Oak - *Quercus agrifolia*
- Cork Oak - *Quercus suber*
- Toyon - *Heteromeles arbutifolia*
- Walnut - *Juglans californica*
- Coast Live Oak Concentration

\*Please note: no native trees within the project boundary meet the size criteria for protection.

### Native Tree Map



ALL EXISTING SHRUBS AND TREES TO REMAIN IN THIS AREA

JUGLANS CALIFORNICA VAR. CALIFORNICA (CALIFORNIA WALNUT) TO REMIAN

CEMETERY DESIGN TO ACCOMMODATE EXISTING CORK OAK TREE

EXISTING OAKS TO BE REMOVED FOR FUTURE DEVELOPMENT

JUGLANS CALIFORNICA VAR. CALIFORNICA (CALIFORNIA WALNUT) TO REMIAN

QUERCUS SUBER (CORK OAK) TO BE REMOVED

#### CONSULTANTS

#### LANDSCAPE SITE PLAN

#### KEY PLAN

### MALIBU MEMORIAL PARK

Malibu, CA

Project #: 1430  
 Drawn by: GS  
 Scale: 1"=20'-0"



Description:	Date:	No.:
		#
RESUBMITTAL	01.10.2017	

PROJECT NO: 1430  
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SHEET TITLE:  
 EXISTING TREE SITE PLAN  
 L-2.3

NOT FOR CONSTRUCTION

# GENERAL NOTES

- ALL MATERIALS SHALL BE NEW AND U.L. LISTED.
- ALL WORK AND INSTALLATION OF ELECTRICAL EQUIPMENT SHALL BE PER CITY OF MALIBU ELECTRICAL BUILDING CODES.

# MALIBU LIP-SECTION 6.5 CODE COMPLIANCE

## MALIBU LIP - Section 6.5

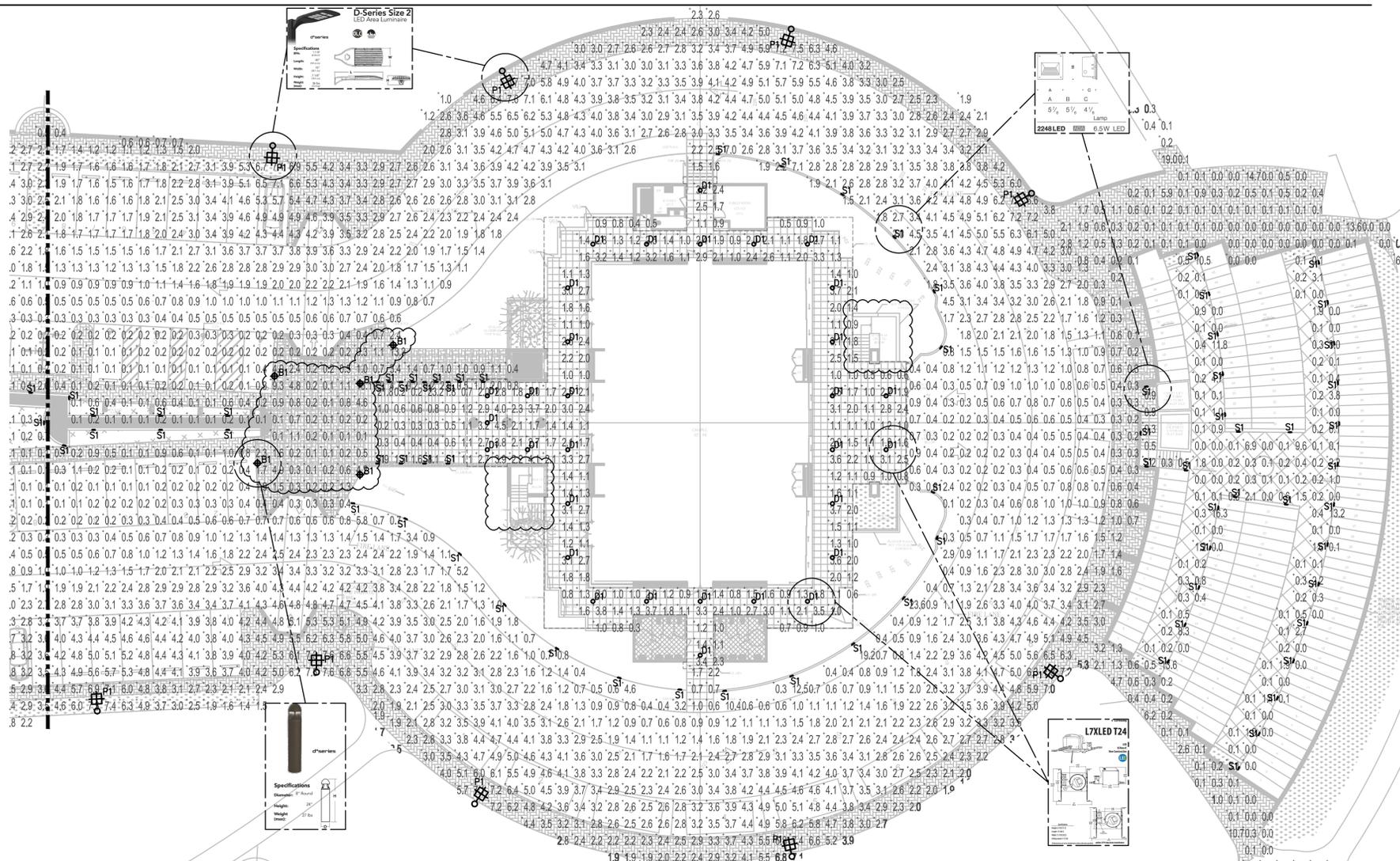
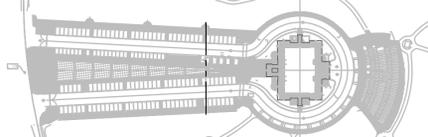
### Development Standards

#### G. Lighting

Exterior lighting (except traffic lights, navigational lights, and other similar safety lighting) shall be minimized, restricted to low intensity features, shielded, and concealed to the maximum feasible extent so that no light source is directly visible from public viewing areas. Night lighting for sports courts or other private recreational facilities in scenic areas designated for residential use shall be prohibited. Permitted lighting shall conform to the following standards:

- The minimum necessary to light walkways used for entry and exit to the structures, including parking areas, on the site. This lighting shall be limited to fixtures that do not exceed two feet in height, that are directed downward, and use bulbs that do not exceed 60 watts, or the equivalent, unless a higher wattage is authorized by the Planning Director.
- Security lighting attached to the residence that is controlled by motion detectors and is limited to 60 watts, or the equivalent.
- The minimum lighting necessary for safe vehicular use of the driveway. The lighting shall be limited to 60 watts, or the equivalent.
- A light, not to exceed 60 watts or the equivalent, at the entrance to the (identify non-residential accessory structures).
- No lighting around the perimeter of the site, no lighting for sports courts or other private recreational facilities, and no lighting for aesthetic purposes is allowed.
- Prior to issuance of Coastal Development Permit, the applicant shall be required to execute and record a deed restriction reflecting the above restrictions. Public agencies shall not be required to record a deed restriction but may be required to submit a written statement agreeing to any applicable restrictions above.

## KEY PLAN



**1 SITE LIGHTING PLAN - EAST**  
SCALE: 1" = 20'-0"

Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
P1		16	DSX2 LED 90C 1000 30K T4M MVOLT HS-POLE 18FT MOUNTING HEIGHT MAX	DSX2 LED WITH 80 LEDs @1000MA, 3000K TYPE 4 MEDIUM OPTICS, WITH HOUSE SIDE SHIELD	LED 28350 LUMENS	Absolute	0.65	282
B1		5	DSXB LED 12C 350 30K ASY	D-SERIES BOLLARD WITH 12 3000K LEDS OPERATED AT 350MA AND ASYMMETRIC DISTRIBUTION	LED 715 LUMENS	Absolute	0.65	16
D1		31	REAL6 DRWV ESL 600L 30K, 60SC	6" REALITY LED RECESSED DOWNLIGHT, 600 LUMENS, 3000K CCT, 0.60 SPACING CRITERIA	LED 600 LUMENS	Absolute	0.65	8
S1		121	2248LED	S-785SQ 2.4-18FT LED FIXTURE CLEAR LENS	LED 240 LUMENS	Absolute	0.65	1153

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING	+	1.9 fc	23.2 fc	0.2 fc	116:0.1	9.51
DRIVE	+	1.8 fc	23.6 fc	0.0 fc	N/A	N/A

**2 SITE LIGHTING PLAN - WEST**  
SCALE: 1" = 20'-0"

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU, CA 90265



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NO	DATE	ISSUE
1	04/14/16	REVISION 1

### DESCRIPTION:

## EXTERIOR LIGHTING PHOTOMETRIC PLAN

### DRAWING NO.

**E1**

PROJECT	2550 - Malibu Memorial Park
DATE	01-13-2016
SCALE	AS NOTED
DRAWN BY	NJ

Wednesday, March 23, 2016 2:33:42 PHAMATT JONES

E:\DRAWINGS\MALIBU MEMORIAL PARK\CAD\ELECTRICAL\ SHEETS\E1.DWG

# MALIBU MEMORIAL PARK

4000 Malibu Canyon Road  
MALIBU,  
CA 90265



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NO	DATE	ISSUE
1	04/14/16	REVISION 1

DESCRIPTION:

EXTERIOR LIGHTING  
PHOTOMETRIC PLAN

DRAWING NO.

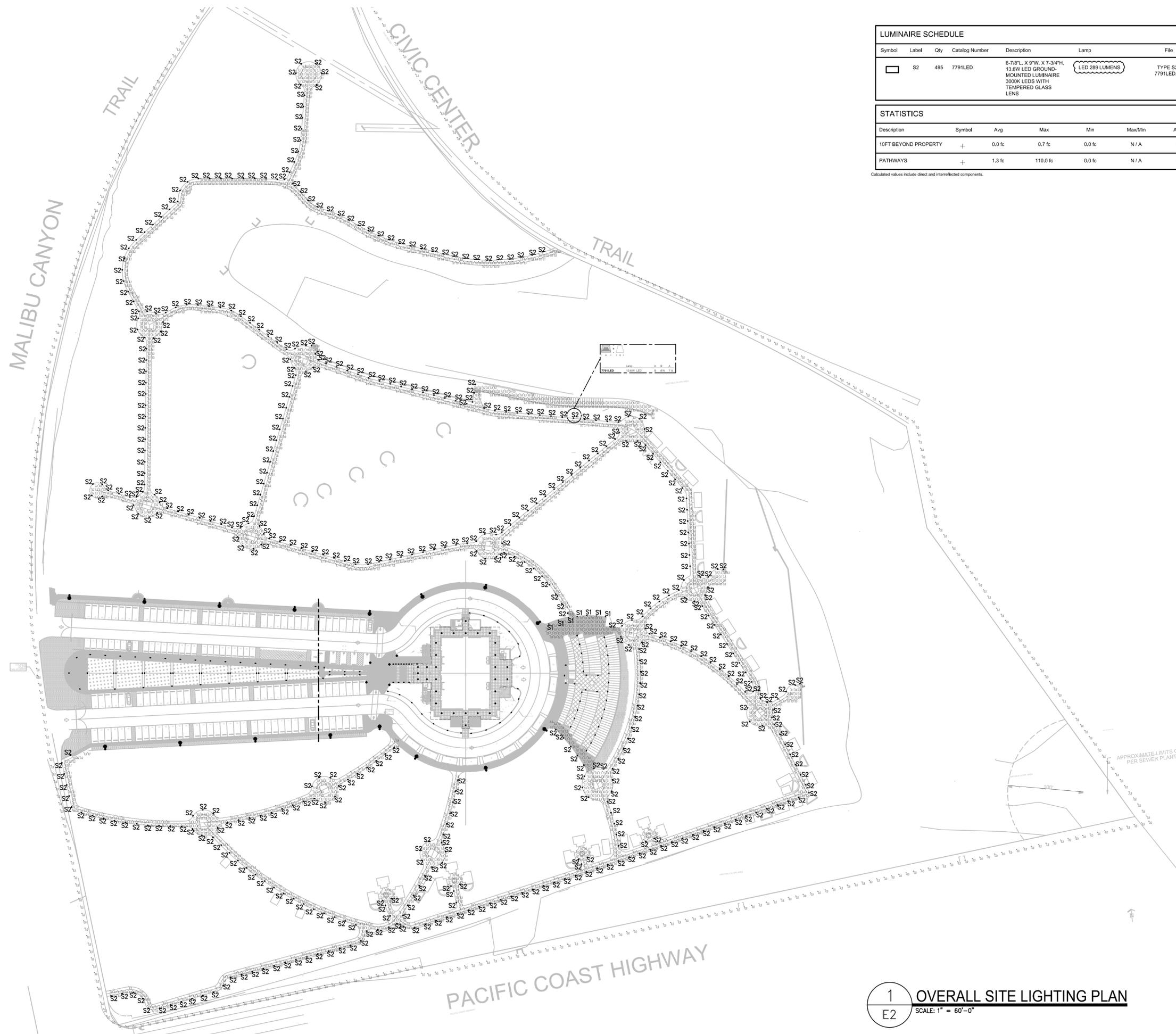
**E2**

PROJECT	2550 - Malibu Memorial Park
DATE	01-13-2016
SCALE	AS NOTED
DRAWN BY	NJ

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
	S2	495	7791LED	6-7/8"L. X 9"W. X 7-3/4"H. 13.6W LED GROUND-MOUNTED LUMINAIRE 3000K LEDS WITH TEMPERED GLASS LENS	LED 289 LUMENS	TYPE S2 - 7791LED.ies	Absolute 0.65 15.98

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
10FT BEYOND PROPERTY	+	0.0 fc	0.7 fc	0.0 fc	N / A	N / A
PATHWAYS	+	1.3 fc	110.0 fc	0.0 fc	N / A	N / A

Calculated values include direct and interreflected components.

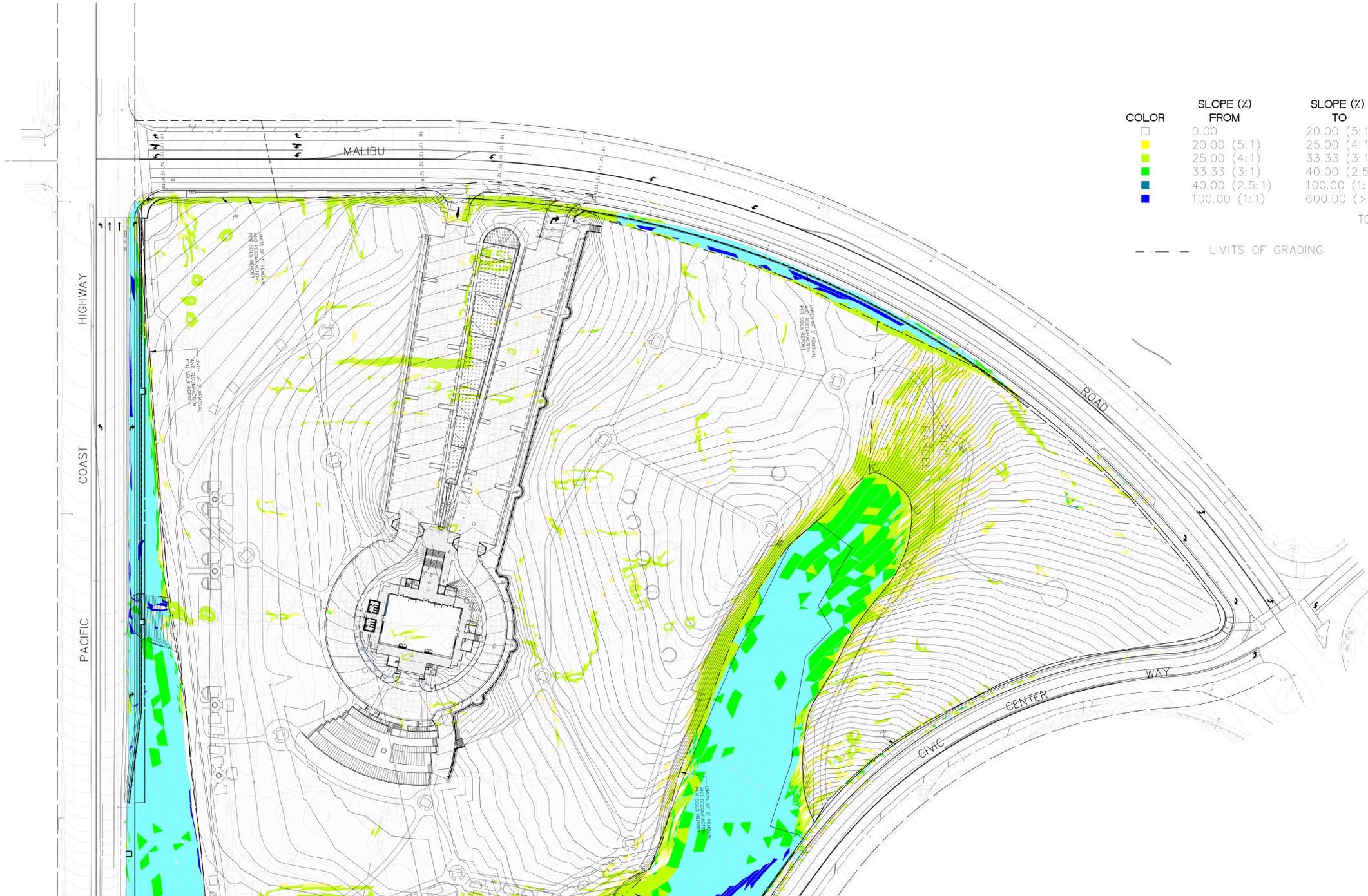


**1** OVERALL SITE LIGHTING PLAN  
E2 SCALE: 1" = 60'-0"

Wednesday, March 23, 2016 2:31:31 PM MATT JONES

E:\DRAWINGS\MALIBU MEMORIAL PARK\CAD\ELECTRICAL\SHEETS\E2.DWG





COLOR	SLOPE (%) FROM	SLOPE (%) TO	PERCENT OF TOTAL	Area (SF)
White	0.00	20.00 (5:1)	70.4	860,080
Yellow	20.00 (5:1)	25.00 (4:1)	3.4	41,171
Light Green	25.00 (4:1)	33.33 (3:1)	4.7	57,188
Green	33.33 (3:1)	40.00 (2.5:1)	5.4	66,819
Cyan	40.00 (2.5:1)	100.00 (1:1)	15.8	194,632
Blue	100.00 (1:1)	600.00 (> 1:1)	0.7	9,018
TOTAL:			100	1,228,908

--- LIMITS OF GRADING

SEE SHEET C0.2



REVISIONS	
1	02/16/2016 END INCOMPLETE LETTER RESPONSE
2	04/14/2016 END INCOMPLETE LETTER RESPONSE

MALIBU MEMORIAL CEMETERY  
4000 Malibu Canyon Road  
Malibu CA, 90265

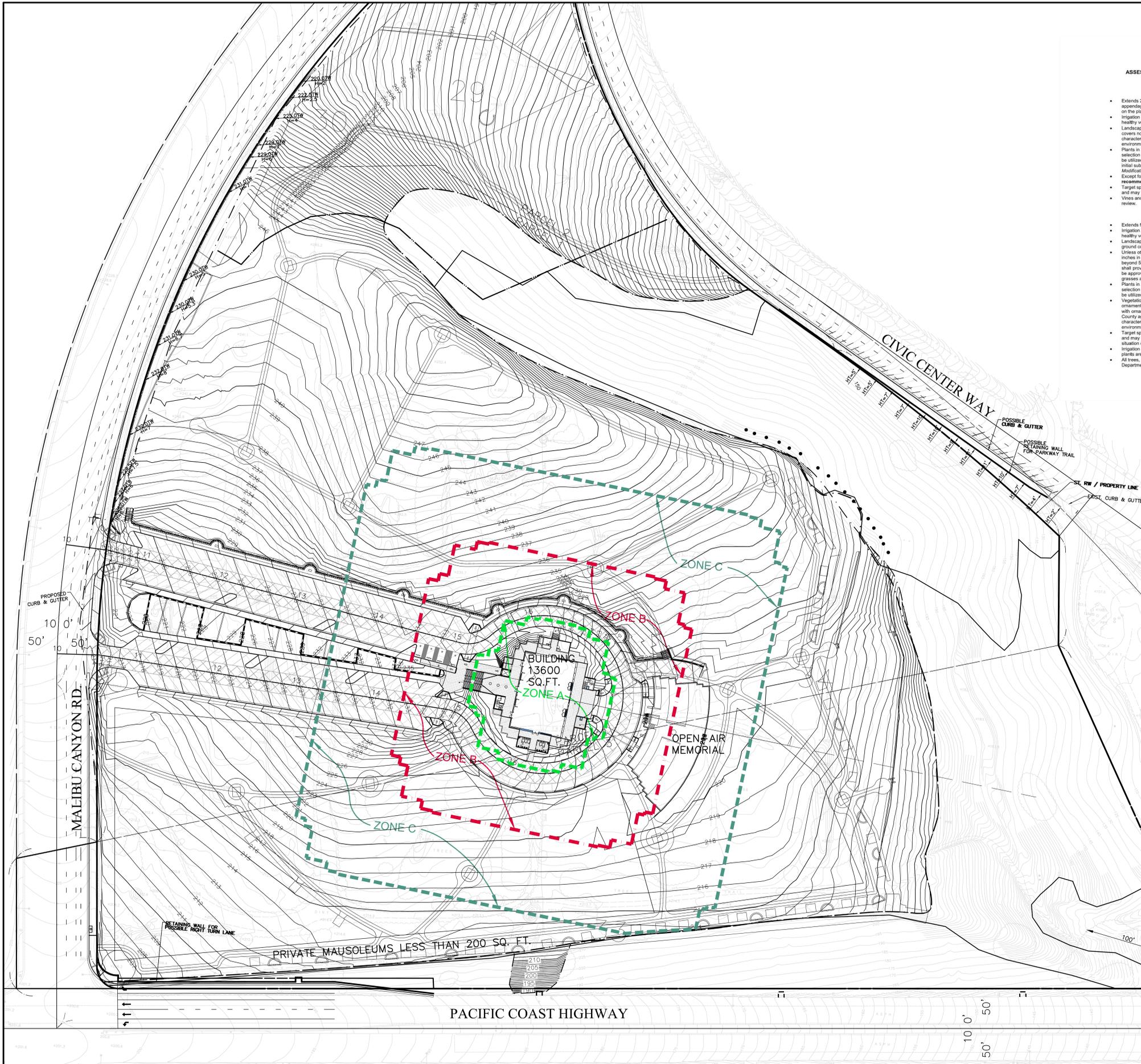
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EXISTING COLOR SLOPE  
ANALYSIS EXHIBIT

DATE:	02/16/2016
SCALE:	As Noted
DRAWN BY:	DRZ
JOB No.:	1GREZ20100
SHEET	2
C0.2	
OF 2 SHEETS	

MALIBU MEMORIAL CEMETERY



**ASSESSMENT NOTES AND MAINTENANCE AGREEMENT FOR FUEL MODIFICATION PLAN**

- Zone A - Setback Zone**
- Extends 20 feet beyond the edge of any combustible structure, accessory structure, appendage or projection. Overhangs or other parts of the structure not accurately reflected on the plans may require the approval of plant location on the approved plan.
  - Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and fire resistance.
  - Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers not exceeding 8 inches in height, and adequately spaced shrubs. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
  - Plants in Zone A shall be inherently highly fire resistant and spaced appropriately. Species selection should be made referencing the Fuel Modification Plant List. Other species may be utilized subject to approval. Final or revised Plans submitted after 6 months from the initial submittal will have plants in all zones evaluated based on the most current Fuel Modification Plant List available from the Fuel Modification Unit.
  - Except for dwarf varieties or mature trees small in stature, trees are generally not recommended within Zone A.
  - Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site.
  - Vines and climbing plants shall not be allowed on any combustible structure requiring review.
- Zone B - Irrigated Zone**
- Extends from the outermost edge of Zone A to 100 feet from structure.
  - Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation and fire resistance.
  - Landscaping and vegetation in this zone shall typically consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees.
  - Unless otherwise approved, ground covers shall be maintained at a height not to exceed 6 inches in Zone B. 12 inches is acceptable within 50 feet of a structure and 18 inches beyond 50 feet in Zone B if it is on a slope. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment. Specimen native plants may be approved to remain if properly maintained for adequate defensible space. Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
  - Plants in Zone B shall typically be fire resistant and spaced appropriately. Species selection should be made referencing the Fuel Modification Plant List. Other species may be utilized subject to approval.
  - Vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or native species to meet minimum slope coverage requirements of City or County agencies or other Landscape or Hillside ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
  - Target species will typically not be allowed within 30 or more feet of combustible structures and may require removal if existing on site. This distance may extend to 50 feet if the situation dictates.
  - Irrigation systems are not required for this zone if it consists entirely of native plants. (Native plants are generally not compatible with regular, unseasonal supplemental water.)
  - All trees, unless otherwise approved, shall be planted for enough from structures and Fire Department accesses as to not overhang any structure or access at maturity.

- Zone C - Native Brush Thinning Zone**
- Extends from the outermost edge of Zone B up to 200 feet from structure.
  - Required thinning and clearance will be determined upon inspection. Required clearance may increase to the maximum allowed by the Fire Code as needed because of vegetation growth.
  - Irrigation systems are not required for this zone if it consists entirely of native plants. (Native plants are generally not compatible with regular, unseasonal supplemental water.)
  - Vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or native species to meet minimum slope coverage requirements of City or County agencies or other Landscape or Hillside ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
  - Plants in Zone C shall be spaced appropriately. Existing native vegetation shall be modified by thinning and removal of those species constituting a fire risk. These species include, but are not limited to chamise, sage, sage brush, and buckwheat.
  - Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
  - General spacing for existing native shrubs or groups of shrubs is 15 feet between canopies. Native plants may be thinned by reduced amounts as the distance from development increases.
  - General spacing for existing native trees or groups of trees is 30 feet between canopies. This distance may increase or decrease depending on the slope, arrangement of the trees in relation to slope, and the species of trees.
- Fire Access Road Zone**
- Extends a minimum of 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources.
  - Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 503.10) Additional clearance beyond 10 feet may be required upon inspection.
  - Fire access roads, driveways and turnarounds shall be maintained in accordance with fire code. Fire Access Roads shall have unobstructed vertical clearance for a width of 20 feet. (Fire Code 503.2.1)
  - Landscaping and native plants within the Fire Access Road Zone shall be appropriately spaced and maintained to provide safe egress in wildland fire environments.
  - All trees, unless otherwise approved, shall be planted for enough from structures and Fire Department accesses as to not overhang any structure or access at maturity.

- Maintenance**
- Routine maintenance shall be regularly performed in all zones. Requirements include but are not limited to those items in the Fuel Modification Guidelines and those outlined below:
- Removal or thinning of undesirable combustible vegetation and removal of dead or dying landscaping to meet minimum brush clearance requirements.
  - Pruning and thinning to reduce the overall fuel load and continuity of fuels.
  - Fuel loads shall be reduced by pruning lower branches of trees and tree-form shrubs to 1/3 of their height, or 6 feet from lowest hanging branches to the ground, to help prevent fire from spreading and make maintenance easier. Trees with understorey plants should be limbed up at least three times the height of the underlying vegetation or up to a height of 40 feet, whichever is less, to help prevent fire from spreading upward into the crown.
  - Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 6 inches.
  - All invasive species and their parts should be removed from the site.
  - Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
  - Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department. Annual inspections for brush clearance code requirements are conducted following the natural drying of grasses and fire fuels. Between the months of April and June depending on geographic region. Inspection for compliance with an approved Fuel modification Plan may occur at any time of year.
  - Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
  - All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation. Changes to the approved plan which require an additional plan review will incur a plan review fee.
  - Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5205.

- Long Term Maintenance Agreement**
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines.
  - All Lots within this project will be required to submit plans to the Fuel Modification Unit prior to landscaping being installed and must be identified to the C&G's.
  - Changes to the landscaping in common areas or individual lots reviewed by the Fuel Modification Unit shall be approved prior to installation.
  - Walls may be required on lots based on location of structure and proximity to slope (to be determined upon final tract submittal or individual lot review).
  - Adjoining property owners are responsible for white brush clearance as required by the Fire Code.
  - Zone C may be adjusted during inspection depending upon field conditions.

The property owner(s) agree to be responsible for the long-term maintenance of this Fuel Modification plan, as described herein. A Covenant & Agreement identifying the applicable Fuel Modification Plan will be recorded on the parcel(s) or C&G's approved, prior to occupancy being granted. Notification of Fuel Modification requirements is to be made upon sale to new owners. Proposed changes to the Final Fuel Modification plan must be submitted to the Fuel Modification Unit for approval, prior to implementation. Plans will be reviewed based on the current plant list. Regular inspections will be performed by the Fire Department to ensure compliance with the approved plan. Failure to comply with the Fuel Modification Plan requirements may result in an Administrative Fine of at least \$500 per violation, as well as possible liens, assessments, and legal action. Violations may also be corrected at the owners expense with the cost placed on the property tax bill with the addition of an Abatement Enforcement Cost of \$648.

Name (Print) \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

Name (Print) \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

Approval of this Fuel Modification Plan constitutes approval for only those Codes reviewed as part of the Fuel Modification process and does not replace the needed approval of any other office or agency with jurisdiction and review responsibility for those items which may or may not be illustrated on the plan.

**LEGEND:**

- TRACT BOUNDARY
- PROPOSED LOT LINE
- BUILDING
- PROPOSED CONTOUR
- EXISTING CONTOUR
- DAYLIGHT LINE
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- RECLAIMED WATER LINE
- WALL
- SLOPE

**CONTACT INFORMATION**

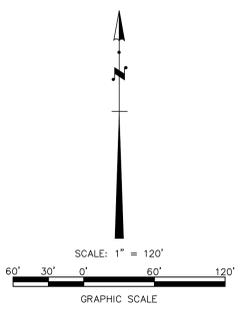
**OWNER/DEVELOPER:**  
 GREEN ACRES, LLC  
 A CALIFORNIA LIMITED LIABILITY COMPANY  
 P.O. BOX 6528  
 MALIBU, CA 90264  
 CONTACT: JAKE JESSON  
 TELEPHONE: (310) 456-2600

**OWNER REPRESENTATIVE:**  
 PROJECT DELIVERY ANALYSTS, LLC.  
 14342 SHAWNEE STREET  
 MOORPARK, CA 93021  
 CONTACT: BRUCE MCBRIDE  
 TELEPHONE: (805) 298-6570  
 FAX: (805) 552-0046

**SOILS ENGINEER/GEOLGISTS:**  
 GEOSOLS CONSULTANTS, Inc.  
 VAN NUYS, CA 91406  
 TELEPHONE: (818) 785-2158  
 CONTACT: RUDY RUBERTI

**CIVIL ENGINEER:**  
 PSOMAS  
 555 S. FLOWER STREET, SUITE 4400  
 LOS ANGELES, CA 90071  
 CONTACT: ANDREW NICKERSON  
 TEL: (213) 223-1400

**JOB ADDRESS:**  
 EXISTING: 24111 PACIFIC COAST HIGHWAY  
 PROPOSED: 4000 MALIBU CANYON ROAD  
 MALIBU, CA 90265



REV	DATE	DESCRIPTION	BY	APPD

DESIGNED	D. R. Z.	REMARK	N/A
DRAFTED	D. R. Z.	ELEVATION	N/A
CHECKED	A. N.	ADJUSTMENT	N/A
		PATHPLOT DATE	


**MALIBU MEMORIAL CEMETERY**  
**PRELIMINARY FUEL MODIFICATION PLAN**  
 GREEN ACRES, LLC - 4000 MALIBU CANYON ROAD  
 IN THE CITY OF MALIBU COUNTY OF LOS ANGELES STATE OF CALIFORNIA

DATE	NOVEMBER 3, 2015	SHEET	1
SCALE	1" = 40'	PROJECT NUMBER	1GRE220100